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## AGENDA

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**CITY OF SAN PABLO  
PLANNING COMMISSION MEETING AGENDA  
Tuesday, March 27th, 2018**

**City Hall Council Chambers  
6:30 P.M.  
13831 San Pablo Avenue  
ONE ALVARADO SQUARE  
SAN PABLO, CA 94806**

Planning Commissioners  
Rita Xavier, Chairperson  
Roberta Feliciano, Vice Chair  
Yuhong Shi  
Dorothy Gantt  
Dr. Charlene Harlan-Ogbeide

**1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

**4. STAFF INTRODUCTIONS**

**5. PUBLIC COMMENT**

The public is welcome at this time to address the Planning Commission on any non-agenda item. Comments are limited to five minutes per speaker. Any public comments made at this time regarding an item pending before the Commission do not go into the public record of that item. Comments on public hearing items will be heard by the Planning Commission when that item is opened to the public.

**6. APPROVAL OF MINUTES**

Planning Commission approval of the minutes for the meeting of February 27, 2018.

**7. PUBLIC HEARINGS**

- A. **PLAN1707-0003:** Major Design Review, manufacturing and warehouse building (Rudy's Refrigeration). Proposed construction of a 14,632 square foot warehouse and manufacturing building on a site at 1621 Rumrill Boulevard (APN 410-012-012). The property is zoned IMU (Industrial Mixed Use). Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines section 15332, class 32, infill development.

**RECOMMENDATION: Adopt Resolution 18-03 approving PLAN1707-0003, a Major Design Review to allow a new warehouse and manufacturing building at 1621 Rumrill Boulevard (APN 410-012-012).**

- B. **PLAN 1802-0021:** Conditional Use Permit to allow for a food market (Farm Fresh Foods) to be located at 13751 San Pablo Avenue (APN 417-130-035 and 417-130-034). The project site is located within the designated Plaza San Pablo development area, formerly known as the Circle S redevelopment site, at the corner of San Pablo Avenue and Church Lane within an existing structure. The proposed site is within the Mixed Use Center South regulating code area in the San Pablo Avenue Specific Plan. Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines sections 15301, class 1, existing structures and 15332, class 32, infill development.

**RECOMMENDATION: Adopt Resolution 18-04 approving a Conditional Use Permit to allow for a food market (Farm Fresh Foods) to be located at 13751 San Pablo Avenue (APN 417-130-035 and 417-130-034).**

**8. STUDY SESSION/ DISCUSSION**

- A. Presentation by City Attorney: **Meeting & Public Hearing Procedures**

**9. STAFF UPDATES**

- Resolution 2018-034 adopted by City Council on 3/5/18 approving the following changes affecting the Development Services Department:
  - Merger of the Development Services Department with Economic Development into one Community & Economic Development Department.
  - Reclassification of the Development Services Director position to a new Community & Economic Development Director position, to be filled by incumbent serving as Assistant to the City Manager-Econ.Dev., Charles Ching.
  - Reclassification of the Assistant Planner position to Planning Manager.
- Community & Economic Development Department Monthly Report.
- 2018 Planning Commissioners' 500' Radius Parameter

**10. PLANNING COMMISSIONER REPORTS**

**11. ADJOURNMENT**

**(Next scheduled meeting of the Planning Commission will be held on Tuesday, April 24, 2018.)**

### **NOTICE TO THE PUBLIC**

IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, PERSONS REQUIRING ASSISTANCE OR AUXILIARY AIDS IN ORDER TO PARTICIPATE SHOULD CONTACT THE PLANNING DIVISION AT ONE ALVARADO SQUARE, SAN PABLO AS SOON AS POSSIBLE PRIOR TO THE MEETING. THE CITY WILL GIVE SUCH REQUIREMENTS PRIMARY CONSIDERATION, TAKING INTO ACCOUNT UNDUE FINANCIAL AND ADMINISTRATIVE BURDENS OR FUNDAMENTAL ALTERATIONS IN THE CITY SERVICE, PROGRAM OR ACTIVITY.

SPEAKERS WISHING TO ADDRESS THE PLANNING COMMISSION ON A SPECIFIC AGENDA ITEM SHOULD FILE A FORM WITH THE RECORDING SECRETARY INDICATING THE AGENDA ITEM. THE PLANNING COMMISSION CHAIRPERSON WILL INVITE YOU TO SPEAK AT THE APPROPRIATE TIME WHEN THE MATTER IS BEING CONSIDERED. IF YOU WISH TO SPEAK ON A NON-AGENDA ITEM WITHIN THE SUBJECT MATTER JURISDICTION OF THE PLANNING COMMISSION, YOU MAY SPEAK UNDER AGENDA NO. 5, "PUBLIC COMMENT". PLEASE FILE YOUR NAME AND ADDRESS WITH THE RECORDING SECRETARY ON FORMS PROVIDED.

COPIES OF THIS AGENDA AND NON-EXEMPT RECORDS RELATING TO AN OPEN SESSION ITEM ON THIS AGENDA WILL BE AVAILABLE FOR PUBLIC REVIEW AT THE CITY CLERK'S OFFICE, 13831 SAN PABLO AVENUE, BUILDING 1, AT THE SAME TIME THEY ARE DISTRIBUTED OR MADE AVAILABLE TO THE COMMISSION.

### **FOR PUBLIC INFORMATION**

Following **ROLL CALL** and the **APPROVAL OF MINUTES** the Planning Commission Chair will open the meeting to the Public Hearing. The Public Hearing enables persons requesting a special permit or allowance that is not routinely allowed by the Zoning Ordinance or not covered by the Municipal Code. The Planning Chair initiates the **PUBLIC HEARING** process by **REQUESTING A STAFF REPORT**; City Staff will give a description, location and explanation of the request. Following an evaluation and analysis of the request, City Staff will make a recommendation of disapproval or approval with or without conditions. Once Staff has made its recommendation, the Chair will ask Commissioners if they have any questions for staff. Then the Chair will open the hearing in the following manner: (Note: Throughout the Hearing the Planning Commissioners may ask questions of those persons participating in the Public Hearing.)

1. The applicant will be invited to further elaborate upon his/her request, make comments, clarifications and/or modifications to the Staff Report.\*
2. Persons either for or against the special request will be invited to elaborate and argue points made and reasons why or why not this request should be allowed.\*
3. Applicant and persons for the request are given the opportunity for rebuttal.\*
4. Persons opposed to the request are given the opportunity for rebuttal.\*
5. The Public Hearing will be closed by the Chair.
6. The Planning Commissioners will review and consider all those options, findings, and new perspectives expressed by each side. Following a thorough study of all Staff information, public comment and site location, the Planning Commission will vote to approve, deny, approve subject to conditions, or based on unknown existing or potential conditions, find that the applicant needs further review and continue it to a later hearing.

**\*Persons addressing the Planning Commission are required to limit their remarks to five (5) minutes, unless an extension of time is granted by the Chair subject to approval by the Planning Commission members. If translation is necessary, then the time shall be doubled to allow for translation.**

**Appeal Period and Final Permit:** Both the applicant and the public may appeal the Planning Commission decision to the City Council. Appeals must be filed in writing to the City Clerk within ten (10) days following the Planning Commission action.

**Note: Any questions related to the Planning Commission hearing, Zoning, or related planning activities can be directed to the San Pablo City Planning Division at (510) 215-3031.**

- \* **If you need Spanish language assistance, please contact the Community & Economic Development Department at (510) 215-3030.**
- \* **Si necesita asistencia en español, por favor contacte al Departamento de Desarrollo Comunitario y Económico al (510) 215-3030.**

**CITY OF SAN PABLO  
PLANNING COMMISSION MINUTES  
FEBRUARY 27, 2018  
CITY COUNCIL CHAMBERS  
ONE ALVARADO SQUARE  
SAN PABLO, CA**

**ROLL CALL**

Chairperson Xavier called the meeting to order at 6:30 p.m. Call of the roll showed present: Commissioner Gantt, Vice Chair Feliciano, Chairperson Xavier, Commissioner Shi, and Commissioner Harlan-Ogbeide. Staff present at the meeting included: Sarah Maroof, Administrative Secretary; Rod Simpson, Consulting Planner; Lynn Tracy Nerland, City Attorney; and Sandra Marquez, Assistant Planner.

**PUBLIC COMMENT**

None.

**APPROVAL OF MINUTES**

Vice Chair Feliciano made a motion to approve the minutes for the meeting of January 23, 2018. The motion was seconded by Commissioner Shi and approved by a vote of 3-0-0-2, with Commissioners Gantt and Harlan-Ogbeide abstaining as neither was present at the meeting of January 23, 2018.

AYES: Feliciano, Xavier, Shi  
NOES: None  
ABSENT: None  
ABSTAIN: Gantt, Harlan-Ogbeide

**PUBLIC HEARINGS**

**PLAN1711-0036:** Consideration of a Conditional Use Permit for an on-site alcohol license for beer and wine only for a new restaurant, Burgerim, at 2300 El Portal Drive, San Pablo, CA 94806, APN 416-160-039. The property is within the San Pablo Avenue Specific Plan and has the Neighborhood Commercial land use designation. It has been determined that the proposed project is exempt from the California Environmental Quality Act (CEQA), consistent with the provisions of CEQA Guidelines Section 15301, Class 1, Existing Facilities. Class 1 addresses an existing private structure, such as this recently renovated building, where a restaurant will be operating.

Assistant Planner Marquez gave a presentation of the project and staff recommendations, after which the Planning Commissioners were invited to ask questions of staff and/or the applicant's representative.

Chairperson Xavier asked for clarification whether the new restaurant, Burgerim, would be in Suite F or Suite G at 2300 El Portal Drive. Both the applicant and Assistant Planner Marquez confirmed that the staff report and resolution correctly identified the location as Suite F.

Commissioner Harlan-Ogbeide requested further information regarding the required Alcohol Beverage Control training and timing. Assistant Planner Marquez responded that the training was provided online by the Alcohol Beverage Control agency, and that one of the conditions of approval of this project was

that all current and future employees would attend one free License Education on Alcohol and Drugs (LEAD) training within one month of hire date. Commissioner Shi asked whether the Police Department had any comments regarding the serving of alcohol on the premises. Assistant Planner Marquez reported that, since the location of the project was not in an area with an undue concentration in alcohol licenses or in an identified high crime area, a determination to demonstrate public convenience or necessity was not required in this case. Assistant Planner Marquez stated that the project had been routed to the Police Department for review and comment before the staff report was finalized, and they had provided conditions of approval, which were included in the staff report and resolution.

The Public Hearing was opened. The applicant's representative, Cynthia Watkins, stated that she is one of three owners of the Burgerim restaurant at 2300 El Portal Drive along with her son and her niece, applicant Jayvon Muhammad, who is the primary managing partner. Commissioner Harlan-Ogbeide suggested that, whenever possible, the applicant should attempt to have future employees undergo the Alcohol Beverage Control LEAD training before the employment start date, or as soon as possible after the hire date, rather than waiting until near the end of the 30-day period of compliance. The applicant agreed to take this recommendation to the other owners and, when possible, comply with this recommendation. There being no further speakers, the Public Hearing was closed.

Commissioner Gantt made a motion to adopt Resolution 18-02 approving PLAN1711-0036, a conditional use permit for an on-site beer and wine license for a new restaurant, Burgerim, at 2300 El Portal Drive Unit F, APN 416-160-039 as recommended by staff. The motion was seconded by Commissioner Harlan-Ogbeide and passed by a vote of 5-0.

AYES: Xavier, Shi, Feliciano, Gantt, Harlan-Ogbeide  
NOES: None  
ABSENT: None  
ABSTAIN: None

### **NEW BUSINESS**

Consulting Planner Simpson reported that, per City Council Ordinance 18-009, adopted by City Council February 5, 2018, and effective March 7, 2018, the regularly Planning Commission meetings have been moved from third Tuesday of the month to the fourth Tuesday of the month. Consulting Planner Simpson directed the Commissioners' attention to a Memorandum included in their agenda packets listing the scheduled dates of the regular Planning Commission meetings in 2018, with the change to the fourth Tuesday of each month. It was noted that, since the fourth Tuesday of December 2018 falls on a holiday, Christmas Day, that regular meeting on December 25 is cancelled, and, if there are agenda items going forward that month, a special meeting could be scheduled in December.

### **STAFF UPDATES**

Consulting Planner Rod Simpson reviewed the following items:

- Development Services Monthly Report
- Housing Element Annual Progress Report 2017.
- Certificates of Appreciation for outgoing Planning Commissioners Matthew Trujillo and Jeffrey Inglis.

- AB 1234 ethics training certification is due from the following Planning Commissioners prior to participation in 2018 Planning Commissioners Academy:
  - o Chair Xavier
  - o Commissioner Gantt
  - o Commissioner Harlan-Ogbeide
- Hard copies of the following General Plan and Specific Plan documents were provided for each Planning Commissioner:
  - o San Pablo General Plan 2030
  - o San Pablo Avenue Specific Plan
  - o 23<sup>rd</sup> Street Specific Plan
  - o Mixed Use Center South Regulating Code

**PLANNING COMMISSION REPORTS**

There were no Planning Commission reports.

**ADJOURNMENT**

There being no further business, Commissioner Gantt made a motion, seconded by Commissioner Harlan-Ogbeide, and passed by a vote of 5-0, to adjourn the meeting. Chairperson Xavier adjourned the meeting at 7:01 p.m. to the March 27, 2018 meeting.

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Rita Xavier  
Chairperson

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Reina J. Schwartz  
Assistant City Manager

## Planning Commission Staff Report

**PREPARED BY:** Alberto Santos-Davidson, Contract Planner

**DATE:** March 27, 2018

**SUBJECT: PLAN1707-0003: TO CONSIDER A MAJOR DESIGN REVIEW FOR A NEW SINGLE STORY, 14,632 SQUARE FOOT WAREHOUSE AND MANUFACTURING BUILDING ON A 1.15 ACRE PARCEL AT 1621 RUMRILL BOULEVARD WITHIN THE INDUSTRIAL MIXED USE ZONING DISTRICT. APN 410-012-012.**

### **PROJECT TITLE AND REQUEST**

PLAN 1707-0003, Major Design Review, New Manufacturing and Warehouse Building for Rudy's Refrigeration. The applicant requests approval to construct a 14,632 square foot warehouse and manufacturing building for Rudy's Refrigeration as well as re-striping the parking area that currently exists on site.

### **STAFF RECOMMENDATION**

Adopt Resolution 18-03 approving PLAN 1707-0003, subject to findings and conditions of approval.

### **BACKGROUND**

**Applicant and Property Owner:** Ben Plant

**Authorized Agent:** Donald Cushing  
Cushing Associates  
1773 San Pablo Ave., Ste. B1  
Pinole, California 95464

**Location:** West side of Rumrill between Market Avenue and Chelsea Avenue, abutting city soccer fields.

**Assessor Parcel Number:** 410-012-012

**General Plan Designation:** Industrial Mixed Use

**Zoning District:** Industrial Mixed Use

### **Surrounding Zoning and Land Uses:**

North: Industrial Mixed Use, across Market Ave: Regional Commercial

South: Industrial Mixed Use and Institutional

East: Neighborhood Commercial (across Rumrill Blvd)

West: Rumrill Soccer Fields (City Park)

## **ENVIRONMENTAL DETERMINATION**

Pursuant to California Environmental Quality Act (CEQA), the project has been determined to be exempt from CEQA consistent with the provisions of CEQA Guidelines section 15332, class 32 consisting of projects characterized as infill development.

The project site adjoins the City's Rumrill Sports Complex at 1509 Rumrill, which was built on a former railroad maintenance yard and has a soil cap approved by the Department of Toxic Substances Control (DTSC). The proposed building is being set back at least 20 feet from the property line. Public works staff contacted the City's consultant who monitors the cap at 1509 Rumrill, and the proposed setback was deemed sufficient to avoid any impact to the cap.

## **PUBLIC HEARING NOTICE**

Public notice of the hearing has been given by mail to the applicant, and local affected agencies, in accordance with the requirements of Government Code Section 65905.

Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on Thursday March 15, 2018. In addition, a public hearing notice was published in the East Bay Times newspaper on Saturday March 17, 2018.

## **SITE LOCATION/CHARACTERISTICS**

### **Site Location**

The proposal is a new 14,632 square foot warehouse and manufacturing building at 1621 Rumrill Blvd. The 1.15-acre site contains one existing 3,680 square foot building, with the remaining area covered in a continuous concrete slab throughout the project site. The new warehouse building would be constructed in the central area of the lot on top of the concrete slab. This property is in the industrial area of San Pablo and has been used for various vehicle storage uses in the past.

### **Background**

Rudy's Commercial Refrigeration is a manufacturer of walk-in freezers/refrigerators. Rudy's also provides parts and service on the same. The proposed new facility would allow large delivery trucks to offload on the property and would provide the business with additional space. The applicant has stated that their business has been growing, and that they have had to turn down work because of their currently limited manufacturing, staging, and warehousing space. The proposed new facility would allow the business to continue its growth, which has currently been halted because of limited space.

According to the applicant, the refrigerator manufacturing process consists of cutting, bending and forming sheet metal to make cabinets and doors. After the parts are formed, foam insulating is inserted with the walls. Rudy's then assembles the doors and cabinets to make the final refrigerator assembly.

Currently, Rudy's has a 9,000 sq. ft. manufacturing and office space on 1660 Rumrill Blvd in San Pablo and then it also had a 10,000 sq. ft. manufacturing and storage facility located nearby in Richmond. Rudy's has recently sold this Richmond property. The proposed new building at 1621 Rumrill would take the place of the Richmond facility. The proposed new building would allow Rudy's to move its entire operation into the City of San Pablo and would allow Rudy's business

to continue expanding. The new building would allow for storage of raw materials and finished product in the same location, which was not possible with the Richmond facility.

Currently, Rudy's has 17 employees. Two employees work at the Richmond Facility, 9 employees work in the shop at 1660 Rumrill Blvd. The other employees are service techs and office personnel. After project approval and construction, Rudy's plans on moving some of the employees to run the new warehouse and expand manufacturing from the 1660 Rumrill Blvd. and Richmond facility to the new 1621 Rumrill Blvd facility. In addition, Rudy's intends to continue utilizing the offices and manufacturing space across the street in the existing 1660 Rumrill location.

### Proposed Project

The existing 3,000 sq. ft. building at 1621 Rumrill Blvd. would house the wood shop. All other manufacturing would occur in the proposed new building. No warehousing/storage is proposed in this existing building.

The proposed new building would serve both manufacturing and warehousing needs. The new building would be located and designed to facilitate tractor-trailer access for deliveries. Landscaping would be added to three edges of the site with landscaping along the Rumrill frontage utilized to capture storm water runoff. Utilities running to the new building would include water, fire water, electrical, and sewer lines. The building would be 33'3" at its highest point.

The proposed building would be of metal construction with a metal roof. The color scheme would include "Cool Tahoe Blue" and "Cool Metallic Silver" for the walls. The blue panels would be oriented vertically and the silver panels would be oriented horizontally. The roof would be "Cool Metallic Silver". The trash enclosure would be "Cool Tahoe Blue" as well and would also be oriented vertically. The building façade along Rumrill Blvd. would be articulated significantly as would be both the north and south elevations. The roofline would also be varied and would include small windows facing towards Rumrill. An access door is proposed along Rumrill. There would be no deliveries, vehicle circulation or parking in front of the proposed new building.

The building would be construction type 2-B (no rating), with a 1-hour rated fire wall per (NFPA 221) at the exterior wall along Rumrill and the adjacent return walls. No separation of occupants is required between the manufacturing (F-1) and warehouse (storage S-2) portions of the building.

Rudy's Refrigeration plans to have a six employee single shift, 7:30am to 4:00 pm, Monday through Friday, working at the proposed project site (1621 Rumrill Blvd).

### Parking and Circulation

Eighteen (18) parking spaces would be provided on site. Parking calculations require seventeen (17) spaces be provided on site (See attachment F). Staff concurs with their calculation of required spaces and supports removal of space used for vehicle travel from parking requirement calculations. The provided eighteen (18) spaces exceed the required spaces.

Additionally, staff is not concerned about parking issues because, while the building is large, this is necessary due to the size of the products being made. The applicant currently has the same use in Richmond operated by two (2) employees and does not expect to have more than six (6) employees working at one time on this new site. Therefore, staff believes that on-site parking is adequate.

Vehicular access to the project would be provided via two driveways on Rumrill Boulevard to facilitate circulation for tractor-trailers. This would permit them to drive behind the building if needed as well as through the building. See plans for details regarding on-site circulation.

### Fencing

The applicant proposes an 8 foot tall fence around the property. The proposal is to use the same fence material as on the adjacent city soccer field.

In Municipal Code Section 17.45.040 regulating fence and wall height, Table 17.44-A includes the following footnote:

*3. Fences may be permitted above six feet with administrative approval, not to exceed a total height of eight feet. Only permitted where needed to block storage, recycling, or other service areas on neighboring properties or when needed to address privacy concerns.*

As this project is being reviewed by the Planning Commission, the decision on the fence height and design falls to the Planning Commission as well per Municipal Code Section 17.16.070(B), which states that all projects with multiple approvals shall be processed concurrently, and final action shall be taken by the highest level designated approving authority for all such requested permits.

Accordingly, staff recommends that the Planning Commission approve a fence height of 8 feet because this will enhance security, the project site does not abut residential uses, there are similar height fences in the area, and the proposed fence material is compatible with the visual character of other fences in the vicinity.

### Utilities

The site can be adequately served by all required utilities and public services: The project site would be served by existing utilities (West County Wastewater District, East Bay Municipal Utilities District, Pacific Gas and Electric, and Richmond Sanitary Service). All existing utility providers can meet the demand of the proposed project.

## **GENERAL PLAN POLICY CONFORMANCE**

The site is designated on the General Plan as Industrial Mixed Use. The project is consistent with the following polices:

### *Guiding Policies for Industrial Mixed Use*

*LU-G-7: Retain and enhance existing commercial, industrial, educational and entertainment land use areas to strengthen San Pablo's economic base.*

*LU-G-8: Foster high quality design, diversity, and a mix of amenities in new commercial, industrial, and entertainment development.*

### *Implementing Policies*

*LU-I-25: Identify and promote desirable sites for employment-generating commercial, industrial, and other businesses wishing to locate in San Pablo.*

*LU-I-27: Establish design guidelines to assure high quality design and site planning for large commercial and industrial developments. The guidelines should address:*

- *Architectural finishes, coordinated color palette, massing, and hierarchy in scale;*
- *Pedestrian-scaled amenities, signage, and lighting;*
- *Site improvements, including parking lot landscaping, perimeter landscaping, foundation landscaping, walkways, and passageways;*
- *Ground floor transparency requirements along shopping streets and limitations on blank walls in these areas;*
- *Anti-theft glass on windows, instead of bars or roll-down metal screens, that are architecturally compatible with building design;*
- *Screening of truck loading, parking, mechanical equipment, transformers, ventilation systems, storage containers, and refuse collection areas from the street;*
- *Building entries; and*
- *Design standards for perimeter walls and fencing.*

#### *Special Planning Subareas*

*LU-I-41 Establish zoning standards for a park-like “setting” for light industry along Rumrill Drive, with emphasis on landscape beautification and attractive modern facades.*

*LU-I-43 Support the development of underutilized and vacant parcels at the intersection of Market Avenue and Rumrill Boulevard<sup>1</sup> and encourage uses that are conducive to creating commercial synergy and a safe environment for the west side of the city.*

#### *Circulation*

*Rumrill Boulevard is designated as “Urban Arterial” with a Green Street Overlay on Figure 5-1.*

The proposed project complies with the General Plan Policies above. The project includes landscaping, a modern façade and roofline, and entails the development of an underutilized parcel. It complies with the existing industrial design guidelines, involves a business moving operations into San Pablo, and enhances the visual character of the industrial area of the city with its high quality design.

### **ZONING CODE CONFORMANCE**

The following chart summarizes the projects conformance with the standards in the Zoning Code.

**Table 1**

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<sup>1</sup> While the proposed project is not located at the intersection of Market and Rumrill, it is near that area and visible from that intersection.

	<b>Zoning Code Regulations</b>	<b>Proposed Project</b>	<b>Consistent</b>
<b>Permitted Uses</b>	<p>The following uses are permitted by right in Industrial Mixed Use areas by Table 17.34-A:</p> <ul style="list-style-type: none"> <li>• Industry, General</li> <li>• Industry, Limited</li> <li>• Warehousing and Storage, Enclosed</li> <li>• Offices</li> </ul>	The proposed uses and structure are a combination of the uses listed.	Yes
<b>Minimum Parcel Area</b>	No minimum	1.15 acres	Yes
<b>Height/Stories</b>	Maximum height in IMU is 65 feet.	33'3"	Yes
<b>Min FAR</b>	None	N/A	Yes
<b>Max FAR</b>	0.6	0.29	Yes
<b>Setbacks</b>	Because this project does not abut any residential districts or uses there are no setbacks.	N/A	Yes
<b>Parking</b>	See attachment calculating required parking spaces. 17 spaces required per calculations.	18 spaces are provided.	Yes
<b>Signs</b>	<p>For Wall Mounted or Monument Signs, the following restrictions apply: A. Wall Signs shall comply with the following provisions: 1. Individual sign lettering shall not exceed twenty-four (24) inches in height and may be reduced pursuant to design review. 2. Signs shall not project more than six (6) inches from the face of the building.</p> <p>B. For Freestanding Monument Signs, the maximum sign area shall be thirty-five (35) square feet per side, the maximum number of sides shall be two (2), and the maximum height shall be four (4) feet above finished grade.</p>	Verify that wall signage lettering not exceed 24 inches with issuance of building permits. No freestanding monument sign is proposed.	Yes, with conditions.
<b>Stormwater Management</b>	The Public Works Department has asked them to make a good faith effort to capture all storm water on-site.	Stormwater areas are provided. Public Works is satisfied with preliminary plans.	Yes

## **INDUSTRIAL DESIGN GUIDELINES**

The following chart summarizes compliance with the Industrial Design Guidelines

**Table 2**

	<b>Design Guidelines</b>	<b>Proposed Project</b>	<b>Consistent</b>
<b>Context</b>	Site planning should emphasize controlled site access and clear on-site circulation; service areas located at the sides and rear of buildings; screening of outdoor storage, work areas and equipment; clear building entries; and landscaping and open space. The placement of structures, open spaces, parking and access drives should consider the existing built context, including the location of potentially incompatible uses, major traffic generators, significant landscape or paved elements, unique site characteristics and particular influences.	Proposed site plan includes clear circulation with service areas located in desired areas, screening of all required areas as well as some landscaping. Proposed site plan takes into account the existing built context by striking a balance between the neighboring industrial uses and commercial uses. While the proposed structure is large and industrial in nature the design is sensitive to other uses in the area and includes more articulation than other buildings in the area to help balance out its larger size.	Yes
<b>Varied Setbacks</b>	Although no building setbacks are required in the M industrial district, building setbacks should be in proportion to the scale of the structure and in consideration of existing development adjacent to it. Larger structures may require a greater setback to achieve a proper balance of buildings to landscaped open space, and to protect adjacent properties from disturbance.	Building includes varied setbacks and are consistent with the scale of the building and an improvement over existing on-site development and neighboring structures.	Yes
<b>Landscaping and Screening</b>	Where industrial uses are adjacent to non-industrial uses or parking, appropriate buffering techniques	Proposed project does not abut residential uses. Furthermore, the	Yes

	such as setbacks, screening, and landscaping should be provided to mitigate impacts of industrial operations. See also Trees and Parking, Commercial Design Guidelines applicable to industrial development.	proposed project includes landscaping for screening purposes.	
<b>Lighting</b>	<p>Lighting should provide illumination for security and safety, while avoiding light intrusion into off-site areas.</p> <ul style="list-style-type: none"> <li>• Parking, loading, shipping and receiving, walkways, entrances and working areas should be illuminated.</li> <li>• Light fixtures should be architecturally compatible with the project design.</li> <li>• Lighting should be adequate for security, particularly at entrances, but not overly bright.</li> <li>• All lighting fixtures shall be shielded to confine light spread to project boundaries.</li> <li>• No mercury vapor lights are allowed—use metal halide or low-pressure sodium, or equal, only.</li> <li>• Light shall be directed toward the ground and not toward the sky.</li> </ul>	Proposed lighting is to be shielded to ensure it does not intrude into off-site areas. Proposed lighting would aid in security without being obtrusive.	Yes
<b>Parking Lots</b>	Parking and circulation layouts should consider possible conflicts between project circulation and adjacent street traffic, possible conflicts at loading zones, and the importance of clear, attractive	<p>Parking lot is designed to ensure circulation for large vehicles.</p> <p>Personal vehicle parking would occur primarily along an edge of the lot and would be screened</p>	Yes

	<p>parking areas for public safety.</p> <p><b>Visibility of Parked Cars.</b> Parking lots and parked cars should not be the dominant visual elements of an industrial site, as it appears to be for Figure 2. Large, expansive paved areas located between the street and buildings are to be avoided in favor of smaller, multiple lots separated by landscaping and buildings. Visitor parking at the front of an industrial site is not desirable and should be screened from view.</p> <p><b>Walking within Parking Lots.</b> Parking lots should be designed so that pedestrians walk along drive aisles, parallel to moving cars, rather than cross parking aisles and landscaping areas (see illustration in Section 17.34.080, Commercial Design Guidelines).</p> <p><b>Car/Pedestrian Conflict.</b> Circulation routes should be designed to avoid potential conflicts with pedestrians.</p> <p><b>Internal Vehicular Circulation.</b> Vehicles should not be required to enter the street in order to move from one building to another on the same site, as possible in the Figure 1 layout.</p>	<p>by landscaping. Five additional parking spots are proposed along Rumrill Blvd. but these will also be at least partially screened as well.</p> <p>This is a relatively small site with a design that limits potential conflicts between pedestrians and vehicles.</p> <p>Vehicles are not required to enter the street to move from one side of the site to the other.</p>	
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**ANALYSIS**

The proposed new warehouse and manufacturing building would enable a long time San Pablo business to continue to expand and consolidate its entire operation within the City. The project is designed to meet all industrial design guidelines and would enhance the visual character of an existing industrial area. Rudy’s is the kind of job-creating business that benefits the City of San Pablo and the proposal complies with the objectives of the Zoning Code and General Plan.

**FINDINGS**

The following findings are included in the recommended Resolution 18-03 recommending approval of the Project:

- A. Pursuant to California Environmental Quality Act (CEQA) the project has been determined exempt from CEQA under CEQA Guidelines section 15332 (a-d), class 32 consisting of projects characterized as infill development.
- B. Public notice of hearing has been given by mail to the applicant, local affected agencies and to all property owners within 300 feet of the subject property and has been published in the East Bay Times in accordance with the requirements of Government Code section 65905.
- C. Ensure that the proposed development meets the following requirements:
  - a. Design Guidelines. The proposal is consistent with applicable design guidelines.
  - b. Community Plans. The proposal is consistent with any community design plan or specific plan (not applicable for this project).
  - c. General Plan. The proposal is consistent with the land use, physical design, and economic development element and the open space element of the general plan.
  - d. Location and Design. The location and design of proposed development gives particular consideration to privacy, views, and sunlight on adjoining properties and fosters the orderly and harmonious development and preservation of the public health and welfare of the city and its neighborhoods.
  - e. Design and Colors. The architectural design of structures and their colors and materials are visually harmonious with surrounding development, landforms, and vegetation.

## **ATTACHMENTS**

- A. Resolution 18-03
- B. A100 Site Plan 2018-03-07
- C. A200 FLOOR Plan 2018-03-07
- D. A300 Building Elevations 2018-03-07
- E. L0.1 Landscaping plan from Vallier
- F. Parking Calculations
- G. Proof of Publication of Public Hearing Notice
- H. Color Chart from AP SPAN
- I. San Pablo CD Form

## **RESOLUTION 18-03**

### **RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN PABLO APPROVING A MAJOR DESIGN REVIEW TO ALLOW A NEW WAREHOUSE AND MANUFACTURING BUILDING AT 1621 RUMRILL BOULEVARD, SAN PABLO, CA (APN 410-012-012).**

**WHEREAS**, an application was submitted for approval of a Major Design Review for a proposed industrial building at 1621 Rumrill Boulevard, PLAN1707-0003, and deemed complete on March 7, 2018; and

**WHEREAS**, Zoning Code section 17.20.030.B.3. requires design review for industrial development in all zoning districts, including any additions over fifteen feet in height or involving more than two hundred fifty square feet of ground area; and

**WHEREAS**, Zoning Code Table 17.34-A allows the operation of offices, enclosed warehousing and storage, general industry, and limited industry by right within the Industrial Mixed Use zone; and

**WHEREAS**, pursuant to section 17.20.030 of the San Pablo Municipal Code “Major design review” the Planning Commission shall make findings that the establishment, maintenance or operation of the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City; and

**WHEREAS**, the proposed design is consistent with the General Plan, Zoning Ordinance development standards, parking and landscaping requirements, fosters the harmonious development and preservation of the public health and welfare of the City and its neighborhoods, and the architectural design and colors of the proposed industrial use are visually harmonious with the surrounding development, landforms, and vegetation, and the proposed use, together with the conditions applicable hereto, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and

**WHEREAS**, eight foot tall fencing requires administrative approval; and

**WHEREAS**, Zoning Code Section 17.16.070(B) states that all projects with multiple approvals shall be processed concurrently, and final action shall be taken by the highest level designated approving authority for all such requested permits; and

**WHEREAS**, pursuant to California Environmental Quality Act (CEQA) the project has been determined exempt from CEQA under CEQA Guidelines section 15332, class 32, consisting of projects characterized as infill development; and

**WHEREAS**, a public notice hearing has been given by mail to the applicant, local affected agencies and to all property owners within 300 feet of the subject property, and has been published in the East Bay Times in accordance with the requirements of Government Code Section 65091; and

WHEREAS, the Planning Commission conducted a public hearing on March 27, 2018 and considered all written and oral testimony, as well as the staff report, attachments and presentation;

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of San Pablo has reviewed the proposed project and approves this proposal, based on the following findings:

- A. That the granting of this Design Review will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

*The General Plan land use designation is Industrial Mixed Use. The zoning for the site is IMU, Industrial Mixed Use, which implements the General Plan land use designation. The request to construct a new warehousing and manufacturing building will allow for the successful continual operation of a long-running business within San Pablo and will enhance the visual character of the existing industrial area. For these reasons, granting of this Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.*

- B. The granting of the Design Review will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

*The proposed new warehousing and manufacturing building adheres to the development standards of the IMU zoning district. The materials used for the building are appropriate for new industrial construction and the color of the proposed building will provide variety and interest to this existing industrial zone. Furthermore, the design of the building will enhance the visual character of the area and will develop an underutilized lot. For these reasons, granting the Design Review will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

- C. The proposed project complies with the development standards of the IMU – Industrial mixed use zoning district.

*The proposed new warehousing and manufacturing building adheres to the development standards of the IMU zoning district. The front, side, and rear yard setbacks meet the established setbacks. Additionally, the height of the proposed new unit adheres to the*

*height limit and the proposed eight foot tall fence can be approved by the planning commission.*

- D. Public notice of the hearing has been given by mail to the applicants, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

*Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on Thursday March 15, 2018. In addition, a public hearing notice was published in the East Bay Times newspaper on Saturday March 17, 2018.*

- E. Design Guidelines. The proposal is consistent with applicable design guidelines.

*The proposed new warehousing and manufacturing building adheres to the Industrial Design Guidelines.*

- F. Community Plans. The proposal is consistent with any community design plan or specific plan.

*There is no applicable community design plan or specific plan for this project.*

- G. General Plan. The proposal is consistent with the land use, physical design, and economic development element and the open space element of the general plan.

*The proposed new warehousing and manufacturing building adheres to the applicable General Plan policies as discussed in the staff report.*

- H. Location and Design. The location and design of proposed development gives particular consideration to privacy, views, and sunlight on adjoining properties and fosters the orderly and harmonious development and preservation of the public health and welfare of the city and its neighborhoods.

*The proposed new warehousing and manufacturing building adheres to all development standards for the industrial mixed use zone and fosters the orderly and harmonious development and preservation of the public health and welfare of the city and its neighborhoods as discussed in finding A.*

- I. Design and Colors. The architectural design of structures and their colors and materials are visually harmonious with surrounding development, landforms, and vegetation.

*The proposed new warehousing and manufacturing building adheres to the Industrial Design Guidelines as discussed previously and the design and colors are visually harmonious with surrounding development, landforms, and vegetation as discussed previously in finding B.*

- J. The proposed 8-foot tall fence around the property in the same material as the adjacent City

soccer field is needed to block storage, recycling, or other service areas on neighboring properties or when needed to address privacy concerns and is found to be consistent with the exception set forth in Municipal Code Section 17.45.040 regulating fence and wall height, Table 17.44-A. The taller fence will enhance security; will not abut residential uses; is comparable to similar height fences in the area; and is made of fence material compatible with the visual character of other fences in the vicinity.

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Pablo hereby approves PLAN1707-0003 for a Major Design Review based upon the following Conditions of Approval.

1. Project plans are approved for the New Manufacturing and Warehouse Building for Rudy's Refrigeration, date stamped received 3/8/2018 as identified below.
2. Minor modifications to this design may be granted by the Zoning Administrator if the proposed changes generally comply with the intent of the approved design.
3. The Design Review shall become null and void within one year of the Planning Commission's effective date of approval unless a building permit has been issued and normal construction progress has been made.
4. Plans submitted for building permits and all subsequent construction shall be in substantial compliance with plans prepared by Donald Cushing, submitted to the City of San Pablo on March 7, 2018, consisting of the Site Plan, Floor Plan, and Elevations, subject to the following conditions:

As provided on the colors and materials board, the siding shall be AEP SPAN, HR-36 with DURA TECH™ 5000 - Premium 70% Fluoropolymer (PVDF) coating and shall be "Cool Tahoe Blue" on the vertically oriented walls, and "Cool Metallic Silver" on the horizontally oriented walls. The roofing materials is to be AEP SPAN, Span – LOK hp, in "Metallic Silver."

5. Obtain all necessary City of San Pablo Building and Public Works permits, and submit payment of fees and agency permits and approval from water, waste, fire and the school district for any proposed work.
6. The project shall conform to all requirement imposed by the Contra Costa County Fire Protection District. An approval letter shall be submitted to the City of San Pablo prior to issuance of a building permit.
7. The operator of the proposed new building shall be responsible for maintaining the landscaping and irrigation of the project site in accordance with the approved plans.
8. Bicycle parking is to be provided on-site as per requirements of 17.54.130 Bicycle parking in the San Pablo Municipal Code. At least one bicycle parking spot is to be provided.

9. Designated parking shall be provided for any combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles identified in San Pablo Municipal Code Table 17.54-D—Clean Air Vehicle Parking Required.
10. Any relocation of utilities as a result of this approval shall be at no expense to the City of San Pablo and shall be undergrounded.
11. Construction activity shall be limited between the hours of 7:00 A.M and 6:00 P.M Monday through Friday and from 9:00 A.M to 5:00 P.M on Saturday. Construction is not permitted on Sundays.
12. Property lines must be established by land surveyor and clearly identified before foundation inspection.
13. Indemnification: Pursuant to Government Code Section 66474.9, the applicant and owner (including any agent thereof) shall defend, indemnify, and hold harmless the City of San Pablo and it's agents, officers, or employees from any claim to attack, set aside, void or annul, the City's approval concerning this planning application, which action is brought within the time period provided for in Section 66499.37. The City will promptly notify the applicant or agent of any such claim, action, or proceeding and cooperate fully in the defense.
14. When submitting for a building permit ensure all plans and documents, as required by the city are included in the packet.
15. The plans shall be designed using the 2016 California Building, Mechanical, Electrical, Plumbing, Fire and Energy Codes.
16. Submit Drainage Plan. Call out the use of any stormwater conveyance materials that will be used and show the slope (i.e. piping). Drainage/runoff shall not be conveyed across property lines, including street frontage and driveway, and should be directed to 3-inch deep concaved landscaped areas at a 2:1 ratio (impervious to pervious) on site or piped to the street gutter (per City Standard detail SD-02) through a cross drain, in which case a curb-drain permit is required. Rain gutters and downspouts shall be installed on all subject structures. Downspouts shall be sloping away from the building with splash blocks/energy dissipaters.
  - a. Mark off the area of impervious roof diverted to each downspout. Show each new roofing area separately. Mark off the vegetated areas. Show each area separately. Call out new roofing area separately showing which vegetated area it will drain to. Make a table showing the ratio of impervious to pervious areas.
  - b. Must not exceed the 2:1 ratio when draining to vegetated areas. Vegetated areas must be 50% of the new roofing or impervious area (including concrete, etc.).
  - c. Add the slopes of any vegetated areas showing that all stormwater will stay onsite.

If the submitted detailed plans for plan checking provide substantial evidence to trigger C.3 requirements, then the following is required:

Comply with requirements of the NPDES Municipal Regional Permit Section C.3, and the Contra Costa Clean Water Program Storm water C.3 Guidebook, current versions. Use and follow standards and guidelines found in the Contra Costa C.3. Guidebook found here: <http://www.cccleanwater.org/stormwater-c-3-guidebook/>.

- a. Provide drainage study including hydraulic calculations for new and existing systems. Study will need to demonstrate that adequate capacity exists in existing systems to accept the increase in run-off. If on-site detention/retention will be necessary, provide calculations for sizing these facilities and show them on the site plan.
  - d. Show proposed and existing storm drain system and include details of how the proposed storm drain will tie into the existing storm drain system.
  - e. Show location of any proposed perforated pipe in bioswales.
  - f. A video inspection of any existing pipe(s) proposed to be utilized on-site will be required to ensure the existing pipe is functioning properly.
  - g. Add slopes along the surface path of travel for all stormwater.
  - h. Add downspouts to side elevation drawings.
17. Trash capture devices may be required by City at catch basins (to be determined during plan-check).
18. Applicant agrees to provide repairs or upgrades to public storm drain facilities which may be necessary to accommodate the proposed storm water generated by the project as required by the City Engineer.
19. Add sidewalk to plan set including driveway approach. All private curb ramps and sidewalks shall meet current ADA and Title 12 requirements and guidelines. Existing public curb ramps which do not meet current requirements shall be upgraded, and tripping hazards in public sidewalks shall be corrected by replacing the offending sections.
20. The applicant shall provide a traffic impact and circulation memorandum. Note that a traffic impact and circulation study may be required if determined during the plan check process. The memo/study shall analyze the location of driveways for potential turning movement impacts with existing driveways across Rumrill Blvd. as well as Bush Ave. The memo/study shall also evaluate sight distance at driveways and ensure that improvements near driveways do not obstruct the sight distance to oncoming traffic. Contra Costa County detail CA10 shall be used as a general guideline. The City Engineer may reduce the requirements of detail CA10 where they deem appropriate. Also, the existing driveway located at approximately the middle of the street frontage of the project that will not be utilized shall be removed and replaced with curb, gutter and sidewalk in accordance with the City Standard Details and as required by the City.
21. The applicant shall provide a Final Design (improvement drawings), approved by the City of San Pablo as described in Title 16 of the City of San Pablo Municipal Code. Improvement drawings shall incorporate City General Notes for Site Work, included in the Appendix.
22. All construction improvements shall be designed by the appropriately licensed design professional. The standards imposed by the City for the private improvements shall be considered as minimum requirements and the standards may be increased by the design professional where judgment and prudence dictate.

23. Must include utility pipes. All abandoned pipes and other abandoned miscellaneous improvements shall be removed.
24. Garbage truck turning radius shall be shown on final plans.
25. Provide trash enclosure to City Standard Details. Trash enclosure must drain to a vegetated area.
26. All trees adjacent to the back of the sidewalk should comply with the San Pablo Master Tree Plan.
27. Storm drains must be protected from construction debris and materials. Include any storm drains located in or around your project on plans and call out the use of proper BMPs located on the City of San Pablo's website. <http://www.sanpabloca.gov/index.aspx?nid=1262>
28. The construction of any new structure must comply with CALGreen requirements for construction and demolition (C&D). At least 50% of nonhazardous C&D materials generated must be recycled and/or salvaged for reuse. All forms are found in the attached "San Pablo CD Form".
29. The "Pre-Construction Waste Management Plan (WMP) Instructions" shall be completed and returned to the City when plans are submitted for the plan check/building permit issuance. Public works will not sign off on the plan checks unless the forms are completed. The "Construction & Demolition Debris Recycling" form must be completed prior to the final inspection for occupancy.
30. "Construction Waste Management Report "Post Construction/Demolition" shall be completed and returned to the city with the weigh tickets after construction is completed. Note that the project will not be signed out without the completion of these forms.
31. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
32. 75% of construction waste shall be recycled or reused.
33. A landscaping and drip irrigation plan shall be included on plans that are submitted for building permit issuance, and the plant materials and drip irrigation shall be installed and operable prior to final occupancy.

### Signs

34. All signs shall be subject to the review and approval by the City consistent with Municipal Code Chapter 18.04, Regulatory Sign Ordinance. No other outside displays are permitted. Prior to the installation of any signs, the applicant shall obtain design review approval from Development Services Planning Division, and building permits from the Building Department.

35. The design, color and location of any project sign at the entrance or on the property shall be reviewed and approved by the Development Services Division.

Utilities

36. Water, gas, electrical, telephone, and sanitary sewer utilities shall be constructed to the minimum standards of the respective utility companies. Trench details, pipe slope and other details shall also meet minimum requirements. All requirements of the applicable utility companies and departments and the fire department shall be met, including fees and administrative requirements.

37. All new utilities shall be undergrounded, including transformers.

38. Contractor shall call 811 before construction for the location of any underground services.

BE IT FURTHER RESOLVED that the foregoing recitations are true and correct, and are included herein by reference as findings.

\*\*\*\*\*

Adopted this 27<sup>th</sup> day of March, 2018, by the following vote:

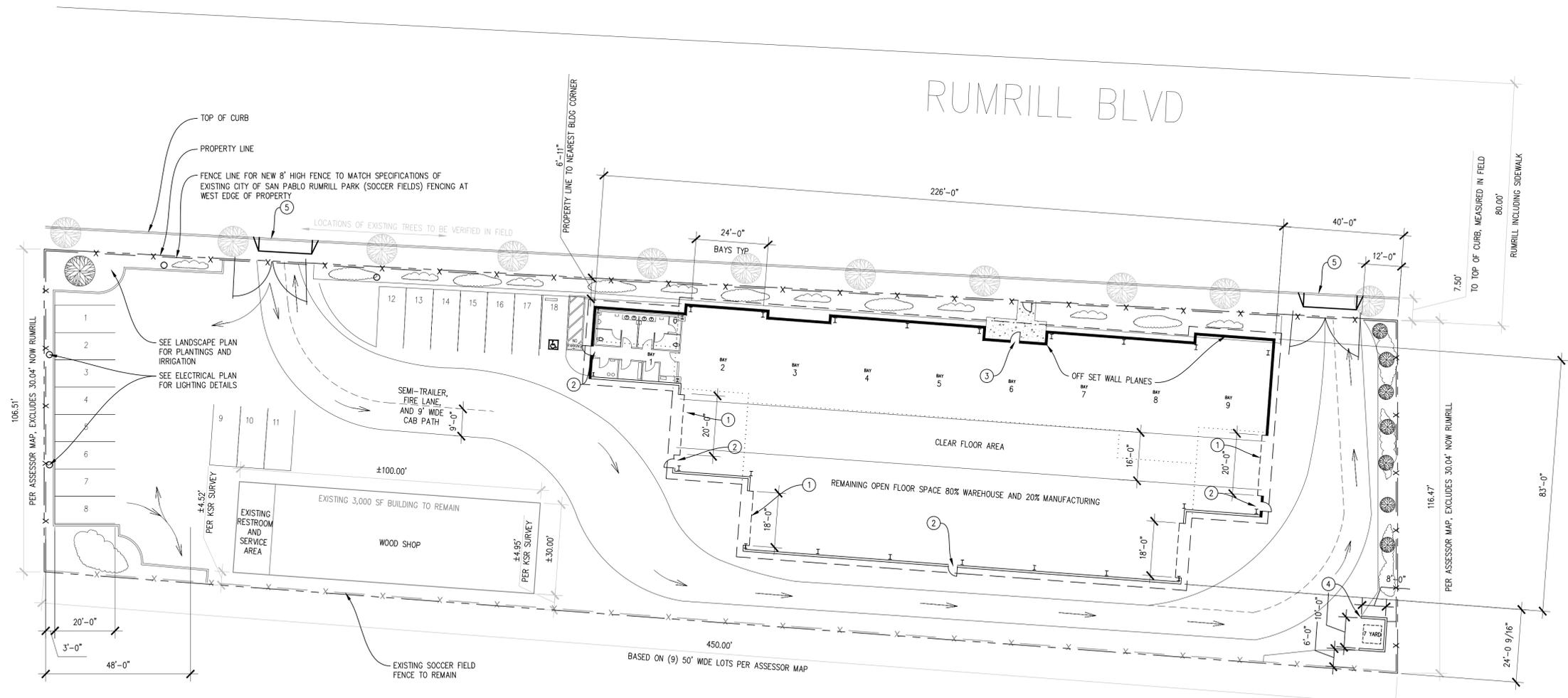
AYES: COMMISSIONERS:  
NOES: COMMISSIONERS:  
ABSENT: COMMISSIONERS:  
ABSTAIN: COMMISSIONERS:

ATTEST:

APPROVED:

\_\_\_\_\_  
Charles Ching  
Secretary

\_\_\_\_\_  
Rita Xavier  
Chairperson



**APPLICABLE BUILDING CODES FOR DESIGN:**  
 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 C.C.R.  
 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.  
 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.  
 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.  
 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.  
 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.  
 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.  
 2016 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBCS), PART 11, TITLE 24 C.C.R.

**BASIS FOR BOUNDARY:**  
 THE PROPERTY LINE ON THIS DRAWING IS NOT BASED ON A BOUNDARY SURVEY. AN ASSESSORS MAP VERIFIED BY FIELD MEASUREMENTS WERE USED FOR PLANNING PURPOSES. A SURVEY WILL BE COMPLETED TO FACILITATE DESIGN OF THE NEW BUILDING AND THE PRODUCTION OF CONSTRUCTION DOCUMENTS. A SURVEY OF THE ADJACENT SPORTS FIELDS WAS ALSO REFERENCED.  
 - STARTING FROM TOP RIGHT (SOUTHEAST) CORNER:  
 - BASED ON ASSESSORS MAP BOOK 410 PAGE 1 CONTRA COSTA COUNTY CALIFORNIA: (9) LOTS EACH 50 FT WIDE -> 450' TOTAL AT BEARING N37°0' E (S37°0' W ON MAP); 136.55' DUE WEST; 450' S41°5' W; 146.54' DUE EAST TO CLOSE BOUNDARY. 8" ERROR BETWEEN START AND END. THEN REMOVED 30.03 FT FROM EASTERN EDGE OF PROPERTY FOR PROPERTY TRANSFER TO COUNTY (RUMRILL)  
 - CORRECTED FOR ACTUAL SURVEY SHOWING BEARING OF S41°6'00" W  
 - BUILDING PLACEMENT AND SIZE IS CONSERVATIVELY LARGE AND TOWARDS CENTER OF PROPERTY BASED ON A COMBINATION OF THE KSR SURVEY AND GOOGLE SATELLITE IMAGES

**NEW BUILDING DATA:**  
 - TOTAL AREA OF PROPOSED NEW BUILDING 14,632 SF  
 - SERVICE AREA 608 SF  
 - DRIVE THROUGH AREA 3113 SF  
 - 20% TYPE F-1 MANUFACTURING 2,182 SF  
 - 80% TYPE S-2 WAREHOUSE/STORAGE 8,729 SF  
 - MIXED USE OCCUPANCY  
 - CONSTRUCTION TYPE II-B (UNRATED) WITH 1 HOUR FIRE WALL PER BUILDING PLAN

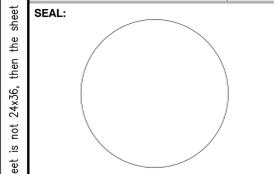
**LEGEND:**  
 - - - - - FENCELINE INDICATED IS 0.50 FOOT OFFSET WITHIN PROPERTY LINE  
 - - - - - ROOF RIDGE LINE INDICATED BY VEHICLE FLOW

**KEY NOTES:**  
 ① 18' HEIGHT ROLLUP DOOR, WIDTH INDICATED ON PLAN  
 ② 3' W x 7' H PERSONNEL DOOR  
 ③ STOREFRONT WITH 3' W x 7' H PERSONNEL DOOR  
 ④ NEW WASTE CONTAINER SCREEN ENCLOSURE WITH BOX RIB PANELING TO MATCH NEW BUILDING. SHOWN WITH SPACE FOR A 7 YARD CONTAINER  
 ⑤ NEW CURB RAMP AS NEEDED AND TO CITY STANDARDS  
 ⑥ EXISTING LIGHT POLES TO REMAIN WITH NEW LIGHTING FIXTURES AS SPECIFIED

**SHEET INDEX:**  
 A100 SITE PLAN  
 A200 BUILDING PLAN  
 A300 BUILDING ELEVATIONS  
 L0.1 LANDSCAPE PLAN  
 E1.1 ELECTRICAL - SYMBOL LIST, NOTES, AND ABBREVIATIONS  
 E2.1 ELECTRICAL - LIGHTING SITE PLAN AND LIGHT FIXTURE SCHEDULE  
 E2.2 ELECTRICAL - PARTIAL PHOTOMETRIC SITE PLAN  
 E2.3 ELECTRICAL - PARTIAL PHOTOMETRIC SITE PLAN

REV.	DESCRIPTION	INIT.	DATE

ISSUED FOR PLANNING REVIEW 03/07/18  
 ISSUED FOR PLAN CHECK  
 ISSUED FOR PERMIT  
 ISSUED FOR BID  
 ISSUED FOR CONSTRUCTION



CONSULTANT:

**CA** **cushingassociates**

Cushing Associates, Inc.

1773 San Pablo Ave., Ste. 611  
 Pinole, California 94564  
 Phone: (510) 222-6930  
 Fax: (510) 222-6964

**PROJECT:**

**RUDY'S REFRIGERATION NEW BUILDING**

1621 RUMRILL BLVD  
 SAN PABLO, CA

**SHEET TITLE:**

**SITE PLAN**

**PROJECT NO.:** 3711-0118  
**PREPARATION AND REVIEW**  
**DRAWN BY:** KCO  
**DESIGNER:** GSB  
**PROJECT MGR:** DAC  
**PEER REVIEW:**

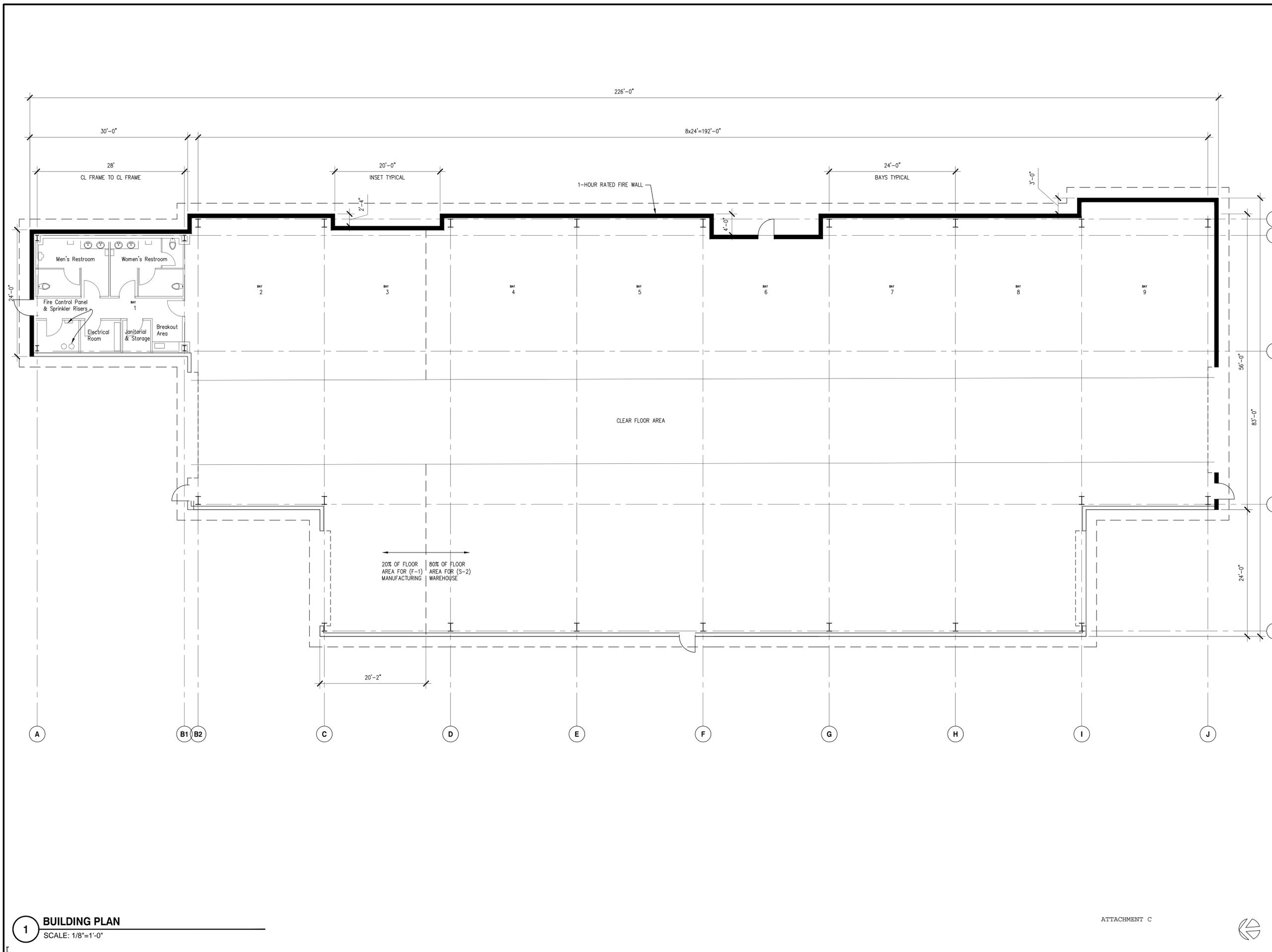
**SHEET NUMBER:**

**A100**

**NUMBER:** **REV:**



If this line is not one inch, and this sheet is not 24x36, then the sheet has been revised from its original size. Noted scales must be adjusted.



**1 BUILDING PLAN**  
SCALE: 1/8"=1'-0"

ATTACHMENT C



REV.	DESCRIPTION	INIT.	DATE
	ISSUED FOR PLANNING REVIEW		03/07/18
	ISSUED FOR PLAN CHECK		
	ISSUED FOR PERMIT		
	ISSUED FOR BID		
	ISSUED FOR CONSTRUCTION		

SEAL:

CONSULTANT:

**CA** **cushingassociates**

Cushing Associates, Inc.

1773 San Pablo Ave., Ste. B1  
Pinole, California 94564  
Phone: (510) 225-6030  
Fax: (510) 222-6064

PROJECT:

**RUDY'S REFRIGERATION  
NEW BUILDING**

1621 RUMRILL BLVD  
SAN PABLO, CA

SHEET TITLE:

**FLOOR PLAN**

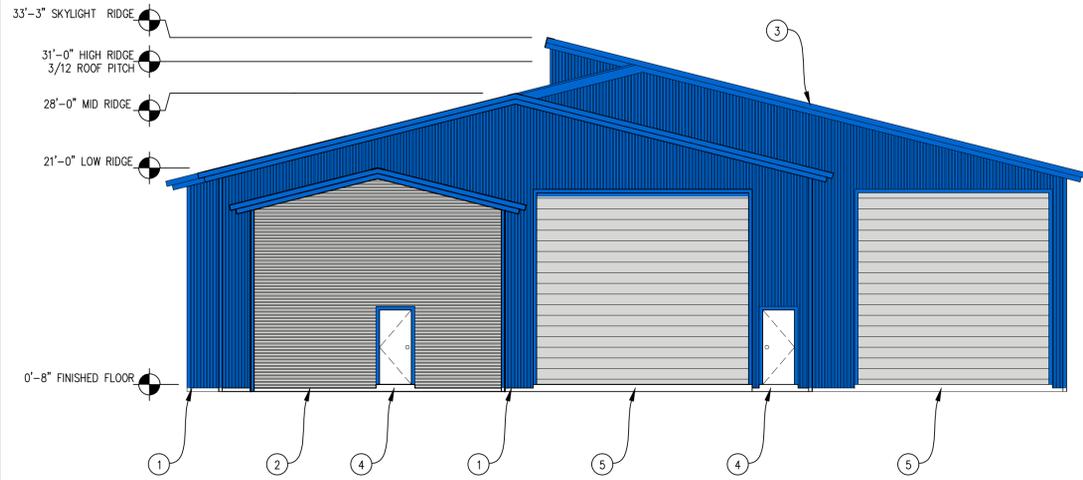
PROJECT NO.: 3711-0118  
PREPARATION AND REVIEW  
DRAWN BY: KCO  
DESIGNER: GSB  
PROJECT MGR: DAC  
PEER REVIEW:

SHEET NUMBER:

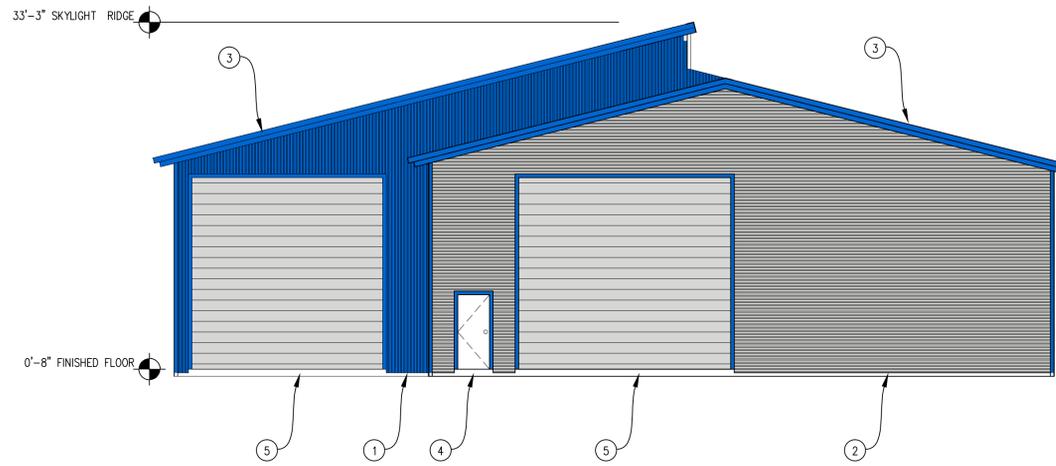
**A200**

NUMBER:                      REV:

1. If this line is not one inch, and this sheet is not 24x36, then the sheet has been revised from its original size. Noted scales must be adjusted.



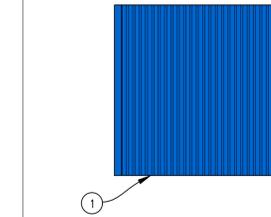
**3 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



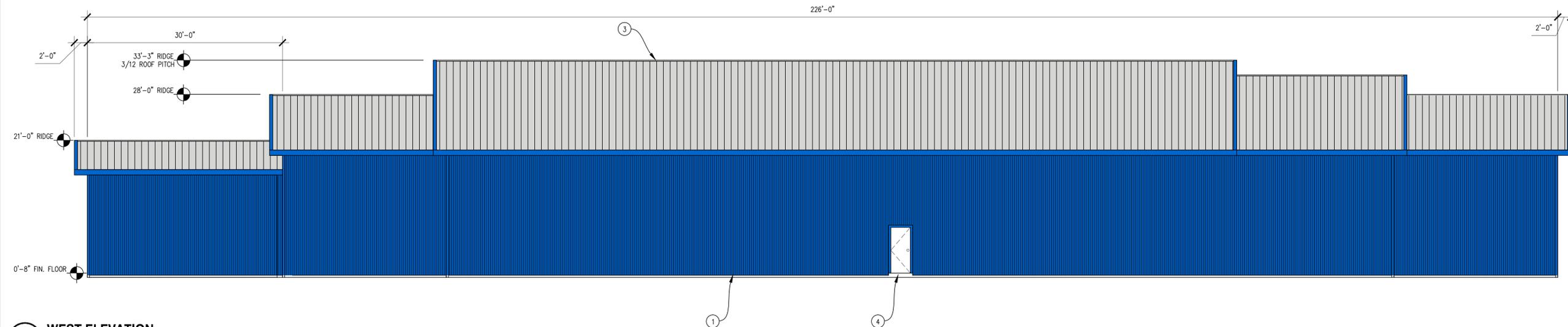
**4 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**KEY NOTES**

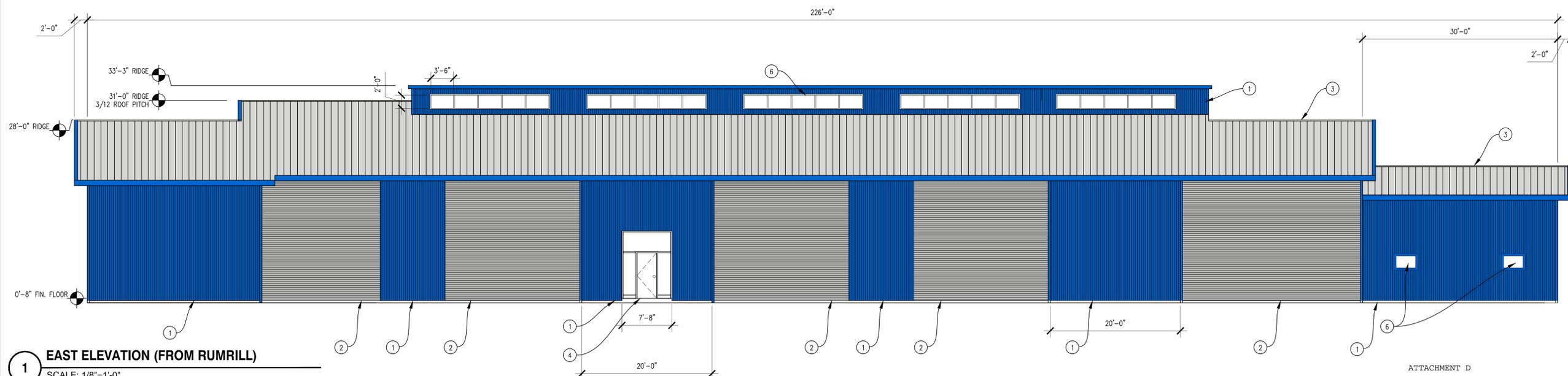
- ① WALL PANELING - AEP SPAN, HR-36, ORIENTED VERTICALLY, IN COLOR: COOL TAHOE BLUE
- ② WALL PANELING - AEP SPAN, NU WAVE CORRUGATED, ORIENTED HOPRIZONTALLY, IN COLOR: COOL METALLIC SILVER
- ③ ROOF PANELING - AEP SPAN, SPAN -LOK hp, IN COLOR: COOL METALLIC SILVER
- ④ PERSON DOOR PER PLAN
- ⑤ ROLL UP DOOR PER PLAN
- ⑥ WINDOWS FOR DAYLIGHTING



**5 TRASH ENCLOSURE EAST ELEVATION**  
SCALE: 1/4"=1'-0"



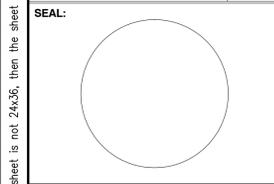
**2 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**1 EAST ELEVATION (FROM RUMRILL)**  
SCALE: 1/8"=1'-0"

REV.	DESCRIPTION	INIT.	DATE

ISSUED FOR PLANNING REVIEW 03/07/18  
 ISSUED FOR PLAN CHECK  
 ISSUED FOR PERMIT  
 ISSUED FOR BID  
 ISSUED FOR CONSTRUCTION



CONSULTANT:

**CA** **cushingassociates**

Cushing Associates, Inc.

1773 San Pablo Ave., Ste. B1  
 Pinole, California 94564  
 Phone: (510) 222-6030  
 Fax: (510) 222-6064

PROJECT:

**RUDY'S REFRIGERATION  
 NEW BUILDING**

1621 RUMRILL BLVD  
 SAN PABLO, CA

SHEET TITLE:

**BUILDING  
 ELEVATIONS**

PROJECT NO.: 3711-0118  
 PREPARATION AND REVIEW  
 DRAWN BY: KCO  
 DESIGNER: GSB  
 PROJECT MGR: DAC  
 PEER REVIEW:  
 SHEET NUMBER:

**A300**

NUMBER: REV:

If this line is not one inch, and this sheet is not 24x36, then the sheet has been revised from its original size. Noted scales must be adjusted.  
 © PROJECT 3711-0118 Rudy's Refrigeration Building Elevations.dwg, 3/7/2018, 10:27 AM, kco@ca.com

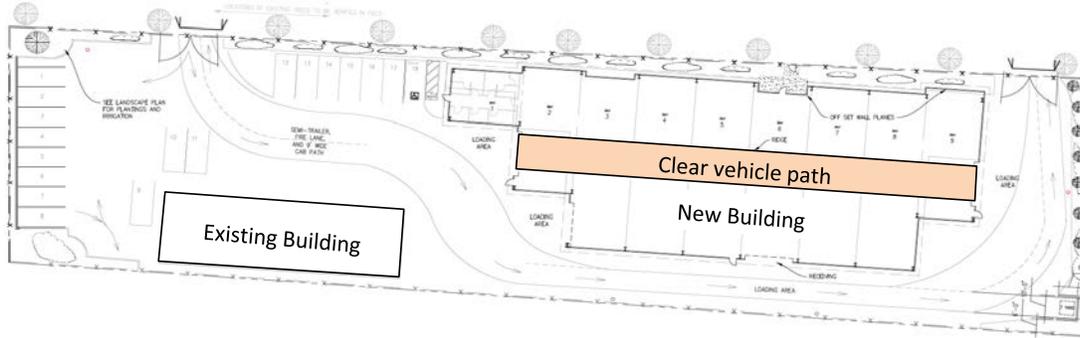


Cushing Associates Inc.

S:\PROJECTS\3711-0118 Rudy's Refrig new prefab bldg\Calculations\[Parking Load.xlsx]2018-03-07

GOVERNING CODE: San Pablo Municipal Code  
Chapter 17.54 PARKING AND LOADING

**Schematic Site Plan** 1621 Rumrill Blvd



<u>BUILDING AND AREA USE</u>	<u>AREA (ft<sup>2</sup>)</u>	<u>FACTOR</u>	
New building - manufacturing	2,182	/ 600 =	3.64 Industry, 1 space per 600 square feet
New building - warehouse	8,729	/ 1000 =	8.73 Warehouse, 1 space per 1000 square feet
New building - mechanical and restrooms	608		- N/A
New building - area kept clear for trucks to drive through	3,113		
Existing building - woodshop	2,640	/ 600 =	4.40 Industry, 1 space per 600 square feet
Existing building - restrooms and misc.	360		- N/A
	ONLY new building areas		12.37
	ONLY existing building areas		4.40
	Total parking required for site:		16.77
	<b>Total parking required for site:</b>		<b>17</b>

# West County Times

1050 Marina Way S  
Richmond, CA 94804  
(510) 262-2740

2015901

SAN PABLO CITY OF  
CITY CLERK OFFICE  
LEHNY CORBIN  
13831 SAN PABLO AV BLDG #1  
SAN PABLO, CA 94806

## PROOF OF PUBLICATION

FILE NO. PLAN1707-0003/PLAN1802-0021

In the matter of

### West County Times

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter.

I am the Principal Legal Clerk of the West County Times, a newspaper of general circulation, printed and published in the City of Walnut Creek, County of Contra Costa, 94598

And which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Contra Costa, State of California, under the date of August 29, 1978. Case Number 188884.

The notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

03/17/2018

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Executed at Walnut Creek, California.  
On this 19th day of March, 2018.



Signature

Legal No.

0006122991



CITY OF SAN PABLO  
City of New Directions

### CITY OF SAN PABLO NOTICE OF PUBLIC HEARING TUESDAY, March 27, 2018

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of San Pablo, State of California, will hold a public hearing on the following items:

**PLAN 1707-0003:** Major Design Review, manufacturing and warehouse building (Rudy's Refrigeration). Proposed construction of a 14,632 square foot warehouse and manufacturing building on a site at 1621 Rumrill Boulevard (APN 410-012-012). The property is zoned IMU (Industrial Mixed Use). Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines section 15332, class 32, infill development.

**PLAN 1802-0021:** Conditional Use Permit to allow for a food market (Farm Fresh Foods) to be located at 13751 San Pablo Avenue (APN 417-130-035 and 417-130-034). The project site is located within the designated Plaza San Pablo development area, formerly known as the Circle S redevelopment site, at the corner of San Pablo Avenue and Church Lane within an existing structure. The proposed site is within the Mixed Use Center South regulating code area in the San Pablo Avenue Specific Plan. Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines sections 15301, class 1, existing structures and 15332, class 32, infill development.

**NOTICE IS HEREBY FURTHER GIVEN** that said hearing before the Planning Commission will be on Tuesday, March 27, 2018. The meeting will be held at 6:30 p.m. in the City Council Chambers at One Alvarado Square, 13831 San Pablo Avenue, San Pablo, CA 94806, at which time and place all persons interested may appear and be heard. Questions may be directed to the City of San Pablo Development Services Department at (510) 215-3030.

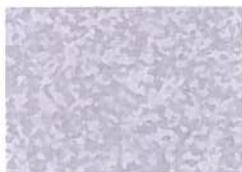
**NOTE:** If you challenge this item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

If you need Spanish language assistance, please contact Development Services at (510) 215-3030. Si necesita asistencia en español, por favor contacte al Departamento de Servicios de Desarrollo al (510) 215-3030.

**Rod Simpson, Consulting Planner  
Community & Economic Development**

WCT 6122991 March 17, 2018

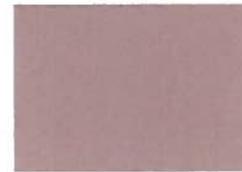
## DURA TECH™ 5000 - Premium 70% Fluoropolymer (PVDF) Coating



**ZINCALUME® Plus\***  
SRI: 65 • 24ga, 22ga & 20ga



*Cool Parchment*  
SRI: 58 • 24ga & 22ga



*Cool Sierra Tan*  
SRI: 55 • 24ga & 22ga



*Cool Terra-Cotta*  
SRI: 41 • 24ga & 22ga



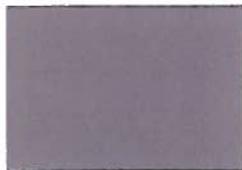
*Cool Regal White*  
SRI: 88 • 24ga & 22ga



*Cool Colonial Red*  
SRI: 35 • 24ga & 22ga



*Cool Old Town Gray*  
SRI: 43 • 24ga & 22ga



*Cool Zinc Gray*  
SRI: 39 • 24ga & 22ga



*Cool Weathered Copper*  
SRI: 34 • 24ga & 22ga



*Cool Dark Bronze*  
SRI: 32 • 24ga & 22ga



*Cool Matte Black*  
SRI: 29 • 24ga & 22ga



*Cool Tahoe Blue*  
SRI: 33 • 24ga & 22ga



*Cool Regal Blue*  
SRI: 29 • 24ga & 22ga



*Cool Marine Green*  
SRI: 47 • 24ga & 22ga



*Cool Hemlock Green*  
SRI: 35 • 24ga & 22ga



*Cool Jade Green*  
SRI: 29 • 24ga & 22ga



*Cool Leaf Green*  
SRI: 30 • 24ga & 22ga



*Cool Forest Green*  
SRI: 29 • 24ga & 22ga

Dura Tech™ coatings combine the corrosion protection of a ZINCALUME® substrate with a highly durable resin formulation and cool pigment technology to provide excellent color retention and reduces the demand for energy.

## Vintage® - Premium Finish (Subject to up-charge) SRI: 22 • 24ga

Vintage coated metal is an innovative coating process over a TruZinc® G90 metallic coated steel surface producing a beautiful, durable, aged-metallic finish.



## DURA TECH™ mx - Premium Fluoropolymer (PVDF) Pearlescent Coating (Subject to up-charge)



*Cool Metallic Silver*  
SRI: 65 • 24ga & 22ga



*Cool ZACTique® II*  
SRI: 39 • 24ga & 22ga



*Cool Metallic Champagne*  
SRI: 54 • 24ga & 22ga



*Cool Metallic Copper*  
SRI: 53 • 24ga & 22ga

SRI=Solar Reflective Index. SRI values in accordance with ASTM E1980 and are based on independent testing. Cool Roof Rating Council (CRRC) performance values (for CA Title 24, Energy Star) are based on color families and will differ from those listed above. Please visit [www.aepspan.com](http://www.aepspan.com) for additional information. \*Clear acrylic coated



## KYNAR 500® OR HYLAR 5000® COLOR FINISHES – Provides excellent resistance to weathering and aging for maximum exterior durability.

	ASTM <sup>1</sup>	PERFORMANCE
Standard Film Thickness	D5796	0.15 - 0.25 mil primer, 0.70 - 0.80 mil top coat 0.50 mil backer coat (Polyester system applied over a primer)
Marine Environment Film Thickness	D5796	0.70 - 0.80 mil primer, 0.70 - 0.80 mil topcoat, 0.40 - 0.05 mil clear coat
Other unusual environmental conditions or specialized pigmentation may have different primer and clear coat requirements.		
Specular Gloss	D523	8-15% at 60° (Dura Tech 5000) 15-25% at 60° (Dura Tech mx)
Pencil Hardness	D3363	F-2H
Flexibility T-Bend	D4145	2T No loss of adhesion or evidence of cracking <sup>2</sup>
Cross Hatch Adhesion	D3359	No adhesion loss
Reverse Impact	D2794	No cracking or loss of adhesion
Abrasion, Falling Sand	D968	65 liters minimum
Flame Test	E84	Class A coating
Acid Pollutants 20% Sulfuric Acid, 18hrs. 10% Muriatic Acid, 24hrs.	D1308	No bleaching No color change, no blistering
Acid Rain Test	Kesternich	15 cycles minimum
Alkali Resistance	Kesternich	No effect
Salt Spray Resistance	B117	Passes 1,000 hours, coated steel <sup>2</sup>
Cyclic Salt Fog	B5894	2,000 hours passes adhesion
Humidity Resistance @ 100°	B2247	Passes 2,000 hours, coated steel <sup>2</sup>
South Florida Exposure	D2244	<5 NBS units change
UVB	D822	Passes 3,000 hours
Chalk Resistance	D4214	Rating of 8 minimum
ZINCALUME® and Galvalume® substrate	A792	55% aluminum-zinc alloy coated steel with a metallic coating weight of AZ50

### FINISH WARRANTIES

Limited warranties for chalk, fade and film integrity are available in durations of up to 30 years for both Dura Tech™ 5000 and Dura Tech™ mx. All AEP Span panels are offered with a corrosion warranty on Galvalume® or ZINCALUME® substrate. Terms can be affected by factors such as environment and building use. Vintage warranty varies. Inquire for details.

### COMPOSITION & APPLICATION:

Dura Tech™ 5000/mx coatings are factory applied, oven cured formulas applied by approved coil coaters. They utilize Kynar 500® or Hylar 5000® PVDF resins and inorganic, IR reflective pigments for superior long-term performance. Vintage specifications vary slightly. Contact an AEP Span representative for Vintage details.

### PRETREATMENT

All substrates are pre-treated in accordance with paint manufacturer's instructions. The pretreatment is to provide a suitable surface for application of the recommended primer.

<sup>1</sup> All tests performed to the latest ASTM revision. The test results set forth are representative of the results obtained by the paint manufacturer.

<sup>2</sup> Performances on HDG G90, ZINCALUME®, Galvalume®.

**Color swatches are for reference only and are limited by printing process and viewing conditions.** With metallic coatings, minor differences in both color and appearance are normal and to be expected. It is virtually impossible to match one metallic coating to another. Due to the coil application process, striations and longitudinal patterning may also show on these products. To minimize the possible visual effects of the normal minor differences in paint and its application, an entire job should be painted at one time. Additionally, fabricated panels, flat sheets, and flashings should be orientated in the same direction for installation. **Contact AEP Span representative for actual color samples prior to purchase.**



# CONSTRUCTION & DEMOLITION DEBRIS RECYCLING

APN: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ J# \_\_\_\_\_ (if applicable)

Owner Name: \_\_\_\_\_ Owner Mailing Address: \_\_\_\_\_ Phone ( ) \_\_\_\_\_

Jobsite Contact: \_\_\_\_\_ Company: \_\_\_\_\_ Phone ( ) \_\_\_\_\_

Jobsite Address: \_\_\_\_\_ Building Type:  SF Res.-New  NonRes-New  NonRes-Addt./renov.  Multifamily

**1** Does your project meet any of the below criteria?

**YES** → Fill out the front of the rest of this form. If no, check this box:  The below criteria do not apply to my project.

<b>Non-residential</b>	<ul style="list-style-type: none"> <li>Any new construction project that requires a permit</li> <li>Any demolition projects that require a permit</li> <li>Additions equal to or greater than 1,000 square feet</li> <li>Alterations equal to or greater than \$200,000</li> </ul>
------------------------	--

<b>Residential</b>	<ul style="list-style-type: none"> <li>Any new construction project that requires a permit</li> <li>Any demolition projects that require a permit</li> <li>Any additions or alterations that increase the building's conditioned area, volume, or size</li> </ul>
--------------------	---

**2** Will you use a Richmond Sanitary Service debris box?

**YES** → When setting up service, tell Richmond Sanitary Service this is for "C&D Recycling." When scheduling final inspection, bring in or send in receipts and weight tickets from the transfer station showing that your waste material went to "C&D Recycling." Remember, never put garbage in construction waste!

NO ↓

**3** Will you haul your construction & demolition waste yourself?

**YES** → At final inspection, show receipts and weight tickets from the transfer station showing that your waste material went to "C&D Recycling." Remember, never put garbage in construction waste!

NO ↓

**4** Fill out the next page.

## Pre-Construction Waste Management Plan (WMP) Instructions

Effective January 1, 2014, certain residential and non-residential building construction and demolition projects must meet Title 24 California Green Building Standards Code (CALGreen). For these projects, **50%** of all waste generated must be recycled.

Specify in the table below the types and quantities of materials ***expected*** to be generated in your project. Indicate whether they will be reused on-site, recycled or disposed by completing the form below.

Material	Reuse	Recycle	Dispose	Facility/Service Providers to be used
Asphalt				
Brick				
Cardboard				
Carpet				
Concrete/Shotcrete				
Dirt/Clean Fill				
Gypsum Dry Wall **				
Job office paper, glass & plastic bottles, cans – Collect separately				
Metals				
Plant/ Tree Debris				
Roofing – asphalt composition shingle, tile, wood shake, tar or gravel				
Rock/Stone				
Wood (Pallets, lumber) **				
Other				



**CITY OF SAN PABLO**  
City of New Directions

# Construction Waste Management Report – Post Construction/Demolition

*Final Inspection will not be scheduled until completed plan is submitted*

APN: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ J# \_\_\_\_\_ (if applicable)

Owner Name: \_\_\_\_\_ Owner Mailing Address: \_\_\_\_\_ Phone ( ) \_\_\_\_\_

Jobsite Contact: \_\_\_\_\_ Company: \_\_\_\_\_ Phone ( ) \_\_\_\_\_

Jobsite Address: \_\_\_\_\_ Building Type:  SF Res.-New  NonRes-New  NonRes-Addt./renov.  Multifamily

Identify which materials were reused, recycled or disposed by completing the table below. If the materials were reused on site, describe the reuse application under the facilities/service providers' column. Salvaged materials from deconstruction should be designated as reuse. **Further instructions are on the back of form.**

Material	Reuse	Recycle	Dispose	Actual Facility/Service Providers Used	Weight (tons)
Asphalt					
Brick					
Cardboard					
Concrete/ Shotcrete					
Dirt/Clean Fill					
Gypsum Dry Wall					
Job office paper, glass & plastic bottles, cans, other					
Metal					
Plant /Tree Debris					
Roofing - asphalt composition shingle, tile, wood shake, tar or gravel					
Rock/stone					
Wood (pallets, lumber, etc)					
Other					
Other					

### Material Recovery Summary

Total tons of materials disposed (not recycled): \_\_\_\_\_

Total tons of materials salvaged, reused, or recycled: \_\_\_\_\_

Percentage of materials recycled/reused: \_\_\_\_\_ %

Calculate pounds disposed per square footage of project \_\_\_\_\_

I certify that I have read the CalGreen Title 24 Building Code and understand the requirements of Section 4.408, 5.408, 301.1.1 and 301.3. The information I have provided is accurate to the best of my ability and meets the regulations.

Contractor signature: \_\_\_\_\_ Date: \_\_\_\_\_

Contractor license #: \_\_\_\_\_

# Construction Waste Management Report (CWMMR) Post-Construction/Demolition Instructions

## CWMMR (Post-Construction/Demolition):

This form must be filled out if contractor does not use Richmond Sanitary Service debris box service.

- Indicate the types and quantity of debris that were **actually** generated from the project (tons).
- Specify whether each material was reused, recycled or disposed
- Provide the name of each facility or service that was actually used for each type of material
- Attach receipts or gate-tags for all materials to verify their destination including subcontractors loads
- If using the "Waste Stream Reduction Alternative" method, add together all waste disposed and divide by the square footage of project. Residential projects must be less than 4lbs/sf and non-residential and high rise buildings (4 stories or more) must be less than 2 lbs/sf.
- Provide any additional information (including photographs) that are relevant to determining compliance with the code
- Sign at the bottom

Upon completion of construction and demolition activities, but before the final inspection, the person responsible for the project shall submit the CWM Report and the required documentation (listed above) to demonstrate achievement of the diversion requirement. Submit the report to the building department for approval.

The CWM Report will be reviewed and a determination made as to whether the project manager achieved the diversion requirement and demonstrated compliance with the code. Questions can be directed to the city's building department.



Sheetrock

Mixed C&D materials are sorted, recycled, and reused if garbage is kept separated.

Metals



Cardboard



Wood



## Planning Commission Staff Report

**PREPARED BY:** Rod Simpson, Consulting Planner

**DATE:** March 27, 2018

**SUBJECT:** **PLAN1802-0021: TO CONSIDER A CONDITIONAL USE PERMIT TO ALLOW FOR A FOOD MARKET (FARM FRESH FOODS) LOCATED AT 13751 SAN PABLO AVENUE AT THE CORNER OF SAN PABLO AVENUE AND CHURCH LANE, WITHIN AN EXISTING STRUCTURE. PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), IT HAS BEEN DETERMINED THAT THE PROPOSED PROJECT IS EXEMPT FROM CEQA CONSISTENT WITH THE PROVISIONS OF CEQA GUIDELINES SECTIONS 15301, CLASS 1, EXISTING STRUCTURES, AND 15332, CLASS 32, INFILL DEVELOPMENT.**

### **PROJECT TITLE AND REQUEST**

Conditional Use Permit, PLAN1802-0021, a request for approval of a Conditional Use Permit to allow for a food market known as Farm Fresh Foods, including a made-to-order coffee counter. The project site is located at 13751 San Pablo Avenue bounded by San Pablo Avenue, Church Lane, and Chattleton Lane. The Market would be integrated into the corner commercial space location of the new San Pablo Public Library.

### **STAFF RECOMMENDATION**

Adopt Resolution 18-04 (Exhibit A) approving PLAN1802-0021, subject to findings and conditions.

### **LOCATION AND SITE CHARACTERISTICS**

<b>Owners:</b>	Art Arjang and Mary Mehrzad Pakpour/City of San Pablo is "master" leaseholder
<b>Applicant/Authorized Agent:</b>	Shawn Hemillar
<b>Location:</b>	13751 San Pablo Avenue, within Plaza San Pablo Project Area
<b>Parcel Number:</b>	417-130-035 and 417-130-034
<b>General Plan Designation:</b>	Mixed Use Center
<b>Zoning District:</b>	SP-2 (San Pablo Avenue Specific Plan)/ Mixed Use Center South
<b>Regulating Code:</b>	Mixed Use Center South

**Surrounding Zoning and Land Uses:**

North:	SP-2 (Public Institutional) City Hall/Alvarado Adobe
South	SP-2 (Mixed Use Center South) Vacant Parcel
West:	SP-2 (Mixed Use Center South) Vacant Parcel/Portion of Wildcat Creek
East:	SP-2 (Commercial/High Density Residential) Furniture Store/Senior Apartment Housing

**ENVIRONMENTAL DETERMINATION**

Article 19 of California Environmental Quality Act (CEQA) Guidelines includes, as required by Public Resources Code Section 21084, a list of classes of projects which have been determined not to have a significant effect on the environment and, as a result, are exempt from review under CEQA. The project has been determined to be exempt under CEQA, Section 15301, Class 1, Existing Facilities. Class 1 consists of the operation, permitting, leasing, or minor alterations of existing public or private structures. The project also has been determined to be exempt under CEQA, Section 15332, Class 32, consisting of projects characterized as infill development.

**PUBLIC HEARING NOTICE**

Public Notice of the hearing has been given to the applicant, and local affected agencies, in accordance with the requirements of Government Code Section 65905. Notices were also mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on Thursday, March 15, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, March 17, 2016.

**SITE LOCATION/PROJECT BACKGROUND**

The subject property is located at 13751 San Pablo Avenue, within the Plaza San Pablo, at the corner of San Pablo Avenue and Church Lane. The Plaza San Pablo site was acquired by the former Redevelopment Agency of the City of San Pablo to eliminate blighting conditions. The community vision includes a comprehensive redevelopment of the Mixed-Use Center South area to create a local and regional mixed-use destination as part of the overall vision for revitalization of the San Pablo Avenue Corridor. A site-wide regulatory plan was developed outlining a variety of potential uses, including civic, cultural, and commercial uses.

The 56,759 square foot site is developed with the remodeled 22,000 square foot San Pablo Library building. A Design Review for the reuse of the building for the San Pablo Library was approved in January 2016. The San Pablo Library project includes an integrated commercial space. The existing L shaped parking lot fronts San Pablo Avenue and Church Lane with ingress/egress from San Pablo Avenue and Chattleton Lane. Pedestrian access is provided by existing sidewalks that border the site on San Pablo Avenue and Church Lane along with a pathway that leads from the intersection of these streets.

The interior of the commercial space is ready for minor interior tenant improvements. The approximately 2,000 square foot corner area is proposed to be a fresh foods market and would have access facing San Pablo Avenue.

The proposed market is unique in its operation. Farm Fresh Foods operates stores that seek to

provide communities with fresh affordable foods. As part of its mission, the store also focuses on serving families participating in the Supplemental Nutrition Program for Women, Infants & Children (WIC) by providing a full-service shopping experience that helps ensure families obtain all the healthy prescribed foods offered on the Program. As the Commission may be aware, a new WIC services building is under construction within the Plaza San Pablo area and within walking distance of the proposed market.

The space would include service/cashier counters, food shelving, produce cases, coolers, storage areas, and a children's play area. To partner with the Library use, the applicants have proposed a coffee counter at which fresh, made-to-order coffee drinks and healthful snacks would be offered. The market plans to also provide in-store cooking demonstrations as part of its focus on helping families maximize the use of their foods in creative and tasteful ways.

The market would operate independently of the library. Hours of operation are proposed for Monday through Friday, 8:00 a.m. to 7:00 p.m., and Saturday from 9:00 a.m. to 5:00 p.m. The current hours of operation for the library would remain the same. The market would operate with approximately six (6) employees.

### **CONDITIONAL USE PERMIT**

Farm Fresh Foods is requesting the approval of a Conditional Use Permit to allow for the food market within the "Block D" project area (site location) as specified in the Site Development Standards of the Mixed-Use Center South Regulating Code. Food markets are listed as permitted uses under the Main Street Retail designation and allowed with the approval of a use permit within the Block D area regulations.

### **GENERAL PLAN CONFORMANCE**

The proposed project is consistent with the following General Plan policy:

***Guiding Policy ED-G-2:*** *Recruit community-serving retail, neighborhood serving commercial, healthcare, and entertainment businesses and activities that meet the needs of residents.*

***Implementing Policy ED-I-26:*** *Undertake strategic initiatives to attract new retail and commercial development. Encourage quality retail and restaurant uses to locate near existing successes.*

***Implementing Policy LU-I-9:*** *Encourage new residential, commercial and related forms of development in a manner which fosters both day and appropriate night time activity; visual presence on the street level; appropriate lighting; and minimally obstructed view areas.*

***Guiding Policy LU-G-7:*** *Retain and enhance existing commercial, industrial, educational and entertainment land use areas to strengthen San Pablo's economic base.*

***Guiding Policy LU-G-11:*** *Recognize the importance of the mixed-use areas along San Pablo Avenue, San Pablo Dam Road, 23<sup>rd</sup> Street, and Rumrill Boulevard to the vitality and quality of life in San Pablo.*

*Implementing Policy LU-I-39: Use the San Pablo Avenue Specific Plan to guide future development in the Circle S (Plaza San Pablo) site focus area.*

The commercial use at this location is consistent with the General Plan policies as listed above. Specifically, improving the availability of neighborhood servicing commercial in the area and strengthening San Pablo's economic base.

### **ZONING CONFORMANCE**

The subject property is currently zoned SP-2 (San Pablo Specific Plan) and is subject to the regulations of the Mixed-Use Center South Regulating Code. Food markets are a permitted use under Main Street Retail category designation (2.3.2 Categories). Main Street Retail uses are allowed with the approval of a conditional use permit as designated for "Block D" (2.2.D, Block and Frontage Regulations).

### **SAN PABLO AVENUE SPECIFIC PLAN CONFORMANCE**

The project site is within an opportunity site and focus area within the mixed-use center south area of the corridor. The project is consistent with the following goals and implementing policies for the San Pablo Avenue Specific Plan Area:

*Guiding Policy 2-G-3: Promote pedestrian- and transit-friendly development that enhances the public realm.*

*Implementing Policy 2-I-1: Establish mixed-use, transit supportive nodes of development near the intersections of San Pablo Avenue and the following streets: Rumrill Boulevard, El Portal Drive, Church Lane, and San Pablo Dam Road.*

*Guiding Policy 4-G-1: Develop the Circle-S (Plaza San Pablo) site with a vital mix of synergistic retail, eating/drinking establishments, office, institutional, and residential uses, and as a citywide and regional destination.*

The proposed project meets the goals and implementing policies of the San Pablo Avenue Specific Plan. The proposed use is consistent with the vision of Plaza San Pablo by contributing to the mix of retail establishments and enhancing the public realm.

### **REGULATING CODE**

The proposed project is subject to the Mixed-Use Center South Regulating Code, which is meant to provide the development framework for the build-out of the Plaza San Pablo site. The Regulating Code is meant to ensure new investment contributes to the fulfillment of the community's vision while encouraging innovative design ideas that creates an attractive and walkable neighborhood. The Regulating Code includes block development regulations, land use, parking, landscape and building design elements.

The proposed food market is a permitted use under Main Street Retail category designation (2.3.2 Categories). Main Street Retail uses are allowed with the approval of a conditional use permit as designated for "Block D" (2.2.D, Block and Frontage Regulations). Parking standards within the Plaza San Pablo area are shared parking areas and include off-street parking spaces.

Parking standards for Main Street Retail uses are a minimum of 0 and a maximum of 4 per 1,000 square feet of area. The proposed use at this location would meet the parking requirements.

### **ANALYSIS**

The proposed use meets the standards of uses outlined in the Mixed-Use Center South Regulating Plan, and is consistent with the policies of the General Plan and San Pablo Avenue Specific Plan. Staff believes that the proposed use may be an asset to the synergy of Plaza San Pablo and the surrounding area at a prominent corner along San Pablo Avenue.

The proposed use has been conditioned to assure consistency with the requirements of the Zoning Ordinance, and the Regulating Code. The Economic Development Department has had an opportunity to review the use and supports the proposal.

Conditions have also been included to ensure compliance and the review of the Conditional Use Permit as needed.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission adopt Resolution 18-04 approving Conditional Use Permit PLAN1802-0021, subject to the findings and conditions.

### **FINDINGS**

- A. That the granting of the Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.
- B. That the project is exempt from provisions of CEQA, consistent with CEQA guidelines Section 15301, Class 1, Existing Facilities, and Section 15332, Class 32, Infill Development.
- C. That public notice of the hearing has been given to the applicant, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

### **ATTACHMENTS**

- A) Resolution 18-04
- B) Project Site Maps
- C) Applicant submittal
- D) Public Notice

## RESOLUTION 18-04

### **RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN PABLO APPROVING PLAN1802-0021, A CONDITIONAL USE PERMIT TO ALLOW FOR A FOOD MARKET (FARM FRESH FOODS) AT 13751 SAN PABLO AVENUE AT THE CORNER OF SAN PABLO AVENUE AND CHURCH LANE**

**WHEREAS**, staff received a Conditional Use Permit application, Plan 1802-0021, on February 17, 2015 requesting approval to allow a food market to be located within the Plaza San Pablo mixed use center area in a SP-2 (San Pablo Avenue Specific Plan) zoning district at 13751 San Pablo Avenue; and,

**WHEREAS**, the City of San Pablo Mixed Use Center South Regulating Code sets permitted uses within the project area and requires the approval of a Conditional Use Permit for certain uses; and,

**WHEREAS**, the proposed use is a permitted use under the Main Street Retail category designation, and Main Street Retail permitted uses require the approval of a conditional use permit within the Block D area as designated in the City of San Pablo Mixed Use Center South Regulating Code; and,

**WHEREAS**, the Planning Commission has determined that the project is exempt from the California Environmental Quality Act (CEQA) under Section 15301, Class 1, Existing Facilities and under Section 15332, Class 32, Infill Development; and,

**WHEREAS**, a Public Notice of the hearing was mailed to the applicant, local affected agencies, and owners of properties within a 300-foot radius of the site. The notices were mailed on Thursday, March 15, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, March 17, 2018 in accordance with Government Code Section 65091;

**WHEREAS**, a public hearing was held at the Planning Commission meeting on March 27, 2018 and the Planning Commission considered all written and oral testimony as well as the staff report and presentation;

**NOW, THEREFORE BE IT RESOLVED** that the Planning Commission of the City of San Pablo has reviewed the proposed project and approves Conditional Use Permit, Plan 1802-0021, based on the following findings:

- A. That the granting of the Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

*Granting the Use Permit will not negatively impact the neighborhood as hours of operation are Monday through Friday, 8:00 a.m. to 7:00 p.m., and Saturday, 9:00 a.m. to 5:00 p.m., consistent with similar commercial uses in the area. The use is consistent with the vision of the Plaza San Pablo to create a mixed-use destination as part of the overall revitalization of the San Pablo Avenue Corridor. The use will provide healthy products to an area that is lacking, and will provide a compliment to nearby health services. The use will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property and will not be materially detrimental to the public welfare or injurious to property or improvements to the neighborhood.*

- B. That the project qualifies for a CEQA exemption as an Existing Facility and Infill Development Project, consistent with the provisions of CEQA Guidelines Section 15301 and 15332.

*The project has been determined to be exempt under CEQA, Section 15301, Class 1, Existing Facilities. Class 1 consists of the operation, permitting, leasing, or minor alterations of existing public or private structures such as the proposed use building. The project has also been determined to be exempt under CEQA, Section 15332, Class 32, consisting of projects characterized as infill development. The proposed use location is within an infill area.*

- C. Public Notice of the hearing has been given by mail to the applicants, local affected agencies, and to owners of properties within a 300-foot radius of the subject property and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

*Notices were mailed to the applicants, local affected agencies and to owners of properties within a 300-foot radius of the site. The notices were mailed on Thursday, March 15, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, March 17, 2018;*

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of San Pablo hereby approves Conditional Use Permit, Plan1802-0021, subject to the following Conditions of Approval.

**General**

1. The Use Permit shall become null and void within one year of the effective date of approval if permits for tenant improvements are not applied for.
2. Minor modifications to this Conditional Use Permit may be granted by the Zoning Administrator if the proposed changes generally comply with the intent of the Conditional Use Permit.

3. The applicant shall obtain all necessary City of San Pablo Building and Public Works permits for any proposed work, including the undertaking of any tenant improvements. The applicant shall consider tenant improvement construction impacts to the Library use and limit, to the extent possible, these impacts to less intrusive hours.
4. The applicant shall obtain a City of San Pablo business license and all permits and licenses needed to operate a food market. All food and drink preparation shall be done in strict accordance with Federal, State, and local health regulations.
5. The operating hours shall be Monday through Friday, 8:00 a.m. to 7:00 p.m., and Saturday, 9:00 a.m. to 5:00 p.m.
6. Deliveries vehicles shall not block circulation, parking stalls, or be located in the Library frontage area.
7. The applicant shall be responsible for keeping the areas around the market, including the parking lot, clean of all debris at all times.
8. The sale of alcohol, tobacco, and cannabis products are prohibited.
9. Indemnification: Pursuant to Government Code Section 66474.9, the applicant (including any agent thereof) shall defend, indemnify, and hold harmless the City of San Pablo and its agents, officers, or employees from any claim to attack, set aside, void or annul, the City's approval concerning this planning application, which action is brought within the time period provided for in Section 66499.37. The City will promptly notify the applicant or agent of any such claim, action, or proceeding and cooperate fully in the defense.
10. All signs shall be subject to the review and approval by the City. No other outside displays are permitted. Prior to the installation of any signs, the applicant shall obtain design review approval from Community & Economic Development, and building permits from the Building Division. No illegal signs, pennants, banners, balloons, flags, or streamers are to be used.

**BE IT FURTHER RESOLVED**, that the foregoing recitations are true and correct, and are included herein by reference as findings.

\*\*\*\*\*

Adopted this 27<sup>th</sup> day of March, 2018, by the following vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAIN:	COMMISSIONERS:

ATTEST:

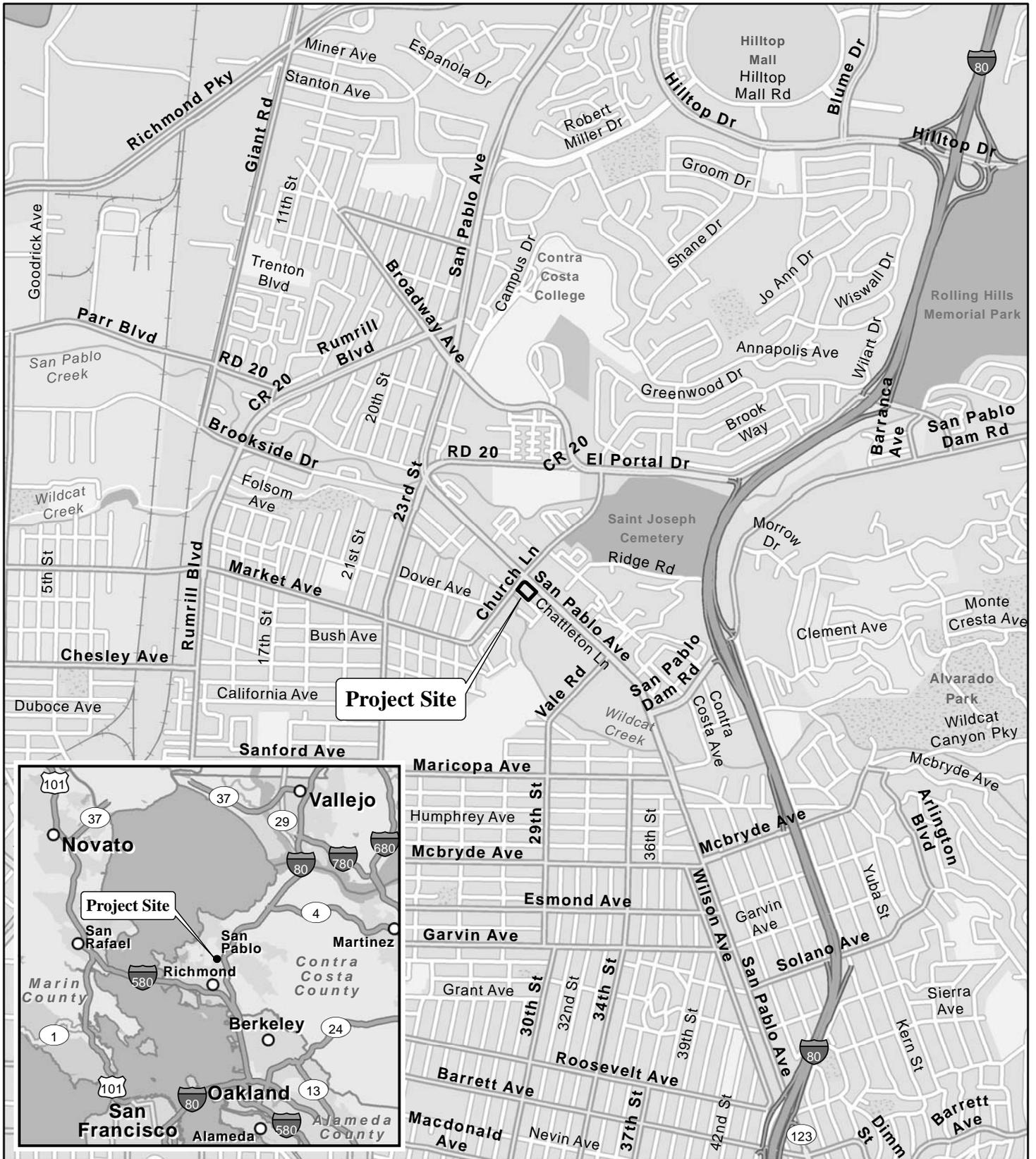
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Charles Ching  
Secretary

APPROVED:

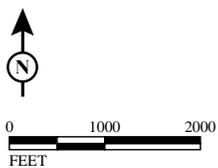
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Rita Xavier  
Chairperson



LSA

FIGURE 1



SOURCE: ESRI STREETMAP NORTH AMERICA (2012).  
 I:\GRP1501 San Pablo Library\figures\Fig\_1.ai (11/30/15)

San Pablo Library Project CE  
 Project Location and Regional Vicinity Map

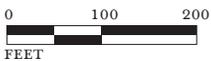


LSA

FIGURE 2



 Project Site



SOURCES: GOOGLE EARTH, 5/11/15; LSA ASSOCIATES, INC., 2015.

I:\GRP1501 San Pablo Library\figures\Fig\_2.ai (11/24/15)

*San Pablo Library Project CE*  
Aerial Photograph of the Project Site

# FORMER CIRCLE-S SITE

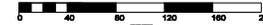
## San Pablo Avenue, San Pablo, California

### Schematic of Proposed Internal Streets

The site features including but not limited to streets, blocks, parcels, footprints and floor plans depicted on these drawings, including configurations, locations and dimensions are a concept only, not for construction and are not suitable for any use other than as concepts. Anyone using these concept drawings as a basis for design development and/or implementation of the concepts illustrated herein shall take full responsibility for the concepts in all aspects including but not limited to existing conditions, site configurations, locations, block sizes and shapes, property lines, footprints, floor plans, street configuration and dimensions.



GRAPHIC SCALE



ISSUED FOR COMMENTS ONLY  
 WORK IN PROGRESS  
 ALL INFORMATION IS CONCEPT ONLY  
 DO NOT RELY ON DATA ILLUSTRATED  
 AS IT MAY NOT BE ACCURATE  
 NOT FOR CONSTRUCTION  
 SUBJECT TO CHANGES  
 NOT A PARCEL OR SUBDIVISION MAP  
 REQUIRES LANDSCAPE DESIGN  
 REQUIRES CIVIL ENGINEERING & GRADING DESIGNS  
 REQUIRES TRAFFIC STUDY  
 REQUIRES CITY REVIEW AND APPROVAL

Architecture  
 Planning  
 Consulting  
 & Engineering  
 13881 San Pablo, California 94803  
 Phone: (925) 427-9800  
 Fax: (925) 427-9808

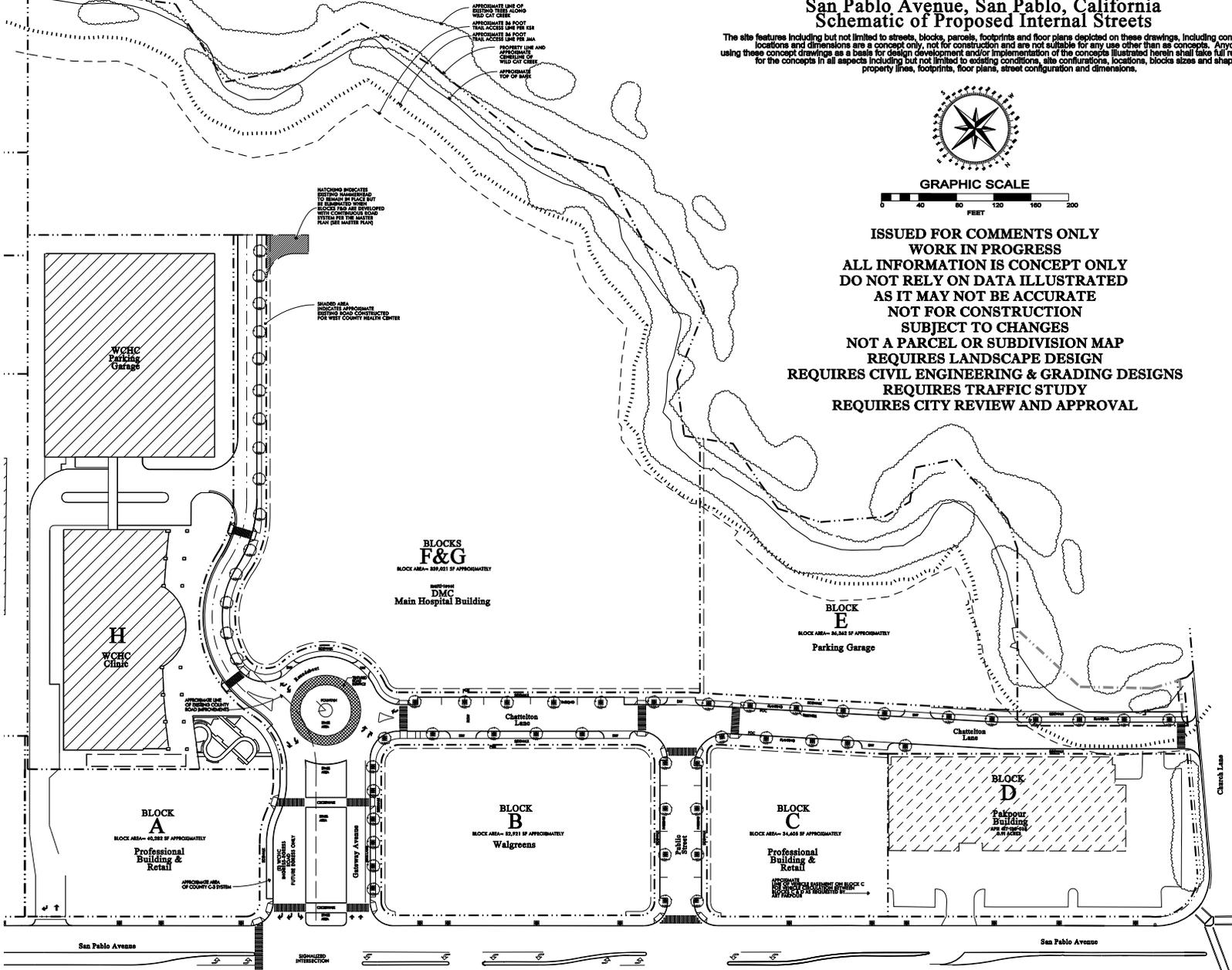
DOCUMENT PREPARED FOR  
 City of San Pablo  
 13881 San Pablo, California 94803  
 Phone: (925) 427-9800  
 Fax: (925) 427-9808

**Former Circle-S Site**  
 San Pablo Avenue, San Pablo, California  
 James Miller, Architect, Architecture and Planning  
 600 Cumberland Street, Pittsburg, CA 94565 phone: (925) 427-9800 fax: (925) 427-9808

REVISIONS

Schematic of Proposed Internal Streets

DATE: 07/20/10  
 DRAWING NUMBER: A0.13



**SCHEMATIC OF PROPOSED INTERNAL STREETS**

NOT TO SCALE

ATTACHMENT C  
Applicant Submittal



# FEARLESS & HEROIC

ONE & ONLY



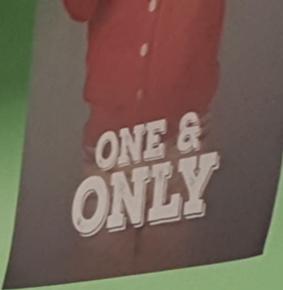
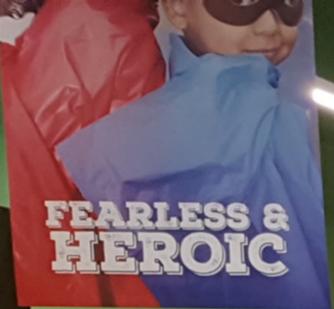
Shelves stocked with various snacks including Cuties, Boom Chicka Pop, and Harvest Day products. A large display of packaged produce like onions and potatoes is in the foreground.

Double glass entrance doors with mirrored text: **Prime Time Nutrition**, **No Solitors**, **SUN CLOSED**, **SAT 9:00-2:00**, **MON-FRI 8:00-7:00**, **888-377-9232**, **FOR EMERGENCY CALL**.

EXIT

EXIT





EXIT



FIRE

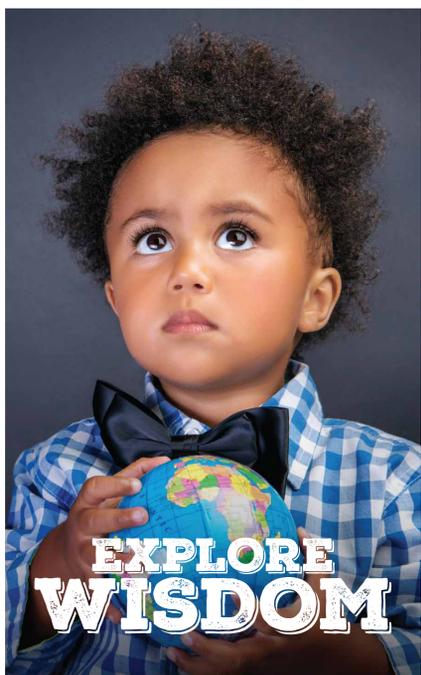


# PTN STORE 581 INTERIOR SIGNAGE & UNIFORM

(ALL SIGNAGE HAS BEEN REDUCED IN SCALE)



PRODUCE COOLER HEADER



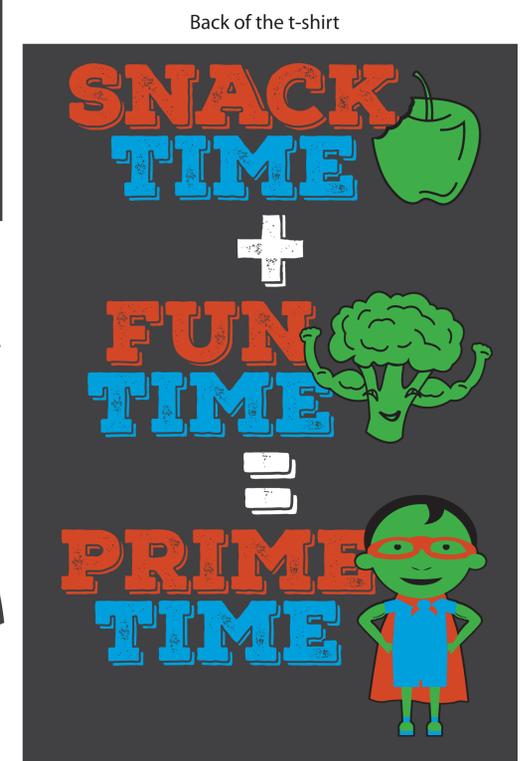
SHOPPING BASKET



SERVICE BELL



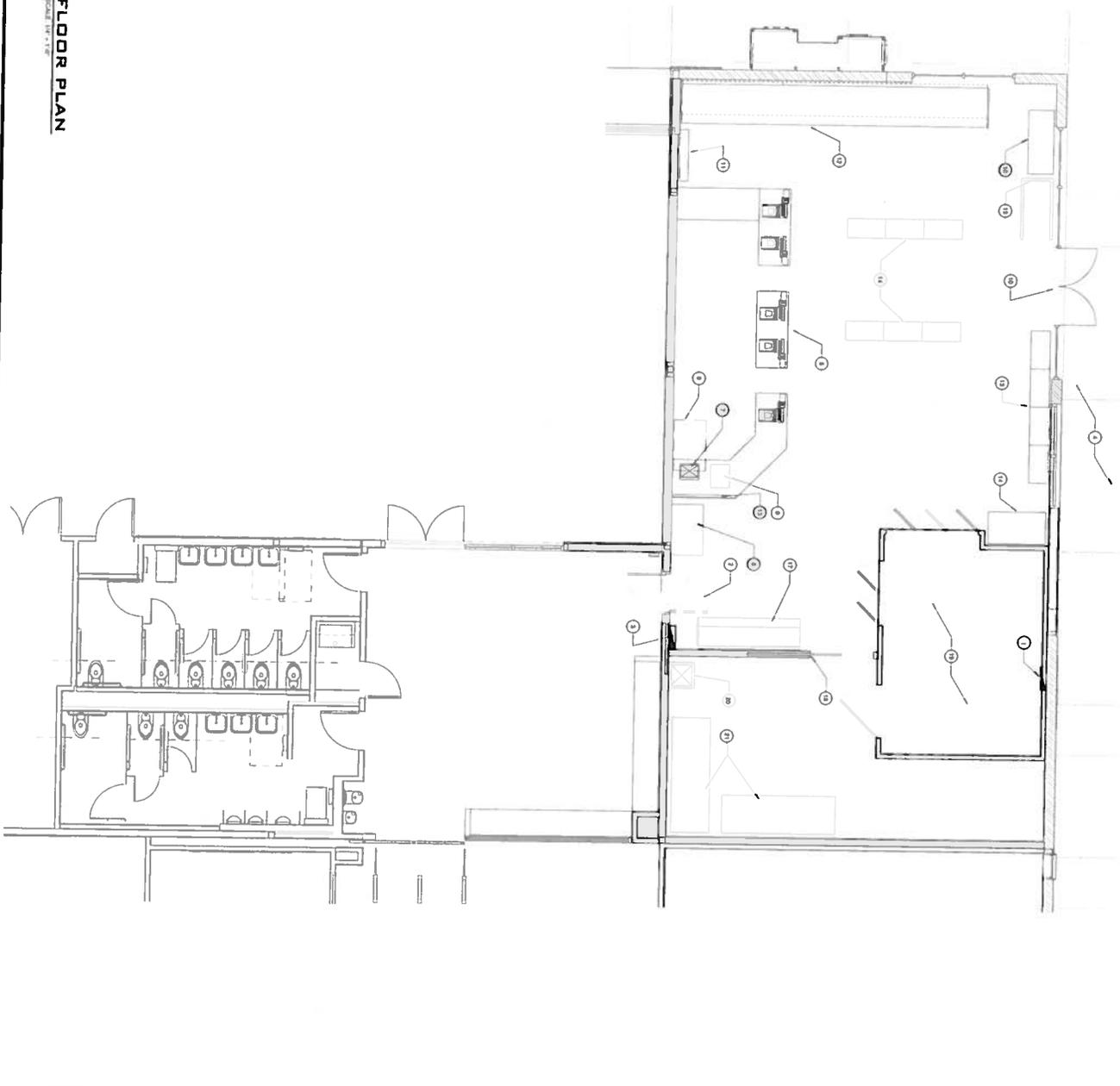
HANGING BANNERS



EMPLOYEE T-SHIRT



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**KEYNOTES**

- 1 EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED TO NEW LOCATION
- 2 EXISTING DOORS TO BE REMOVED AND REPLACE WITH NEW DOOR FRAME SPECIFICATIONS
- 3 ELECTRICAL PANEL, NEW LOCATION
- 4 EXISTING CONCRETE BALK, TYPICAL
- 5 PLASTIC LAMINATE COUNTER/STATION, TYPICAL
- 6 COFFEE MACHINE
- 7 HAND SINK
- 8 COUNTER/NEW COFFEE MACHINE AND TRASH
- 9 DASHED LINE INDICATES ACCESSIBLE CLEAN SPACE, TYPICAL
- 10 PROPOSED SIGNATURE ROOM (THIS ROOM TO BE BUILT UNDER WALL OCCUPANCY) AND OFFICE (THIS ROOM TO BE BUILT UNDER OCCUPANCY) TO MEET REQUIREMENTS FOR PLAY AREA
- 11 1" OF PROPOSED CHALKBOARD
- 12 ADAPTIC SLABS PROTECTIVE SCREEN
- 13 HIGH KINETO
- 14 SHOPPING CART RACK
- 15 ICE CREAM COOLER
- 16 8" X 4-DOOR WREZZER
- 17 6" X 6" OVERHEAD WITH BLIND POCKET DOOR
- 18 WALK-IN COOLER
- 19 WALK-IN FREEZER
- 20 PALETTE RACKING

**A-2.0**  
SHEET  
OF  
SHEETS

PROJECT : PRIMETIME NUTRITION  
CLIENT : PARADIGM CONSTRUCTION  
LOCATION : SAN PABLO, CA

**COMMERCIAL ARCHITECTURE INC.**  
THEODORE J. BRANDVOLD, ARCHITECT  
616 14TH STREET, MODESTO, CA 95354  
PH (209) 571-8158 FAX (209) 571-8160

DATE	BY

# West County Times

1050 Marina Way S  
Richmond, CA 94804  
(510) 262-2740

2015901

SAN PABLO CITY OF  
CITY CLERK OFFICE  
LEHNY CORBIN  
13831 SAN PABLO AV BLDG #1  
SAN PABLO, CA 94806

## PROOF OF PUBLICATION

FILE NO. PLAN1707-0003/PLAN1802-0021

In the matter of

### West County Times

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter.

I am the Principal Legal Clerk of the West County Times, a newspaper of general circulation, printed and published in the City of Walnut Creek, County of Contra Costa, 94598

And which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Contra Costa, State of California, under the date of August 29, 1978. Case Number 188884.

The notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

03/17/2018

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Executed at Walnut Creek, California.  
On this 19th day of March, 2018.



Signature

Legal No.

0006122991



CITY OF SAN PABLO  
City of New Directions

### CITY OF SAN PABLO NOTICE OF PUBLIC HEARING TUESDAY, March 27, 2018

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of San Pablo, State of California, will hold a public hearing on the following items:

**PLAN 1707-0003:** Major Design Review, manufacturing and warehouse building (Rudy's Refrigeration). Proposed construction of a 14,632 square foot warehouse and manufacturing building on a site at 1621 Rumrill Boulevard (APN 410-012-012). The property is zoned IMU (Industrial Mixed Use). Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines section 15332, class 32, infill development.

**PLAN 1802-0021:** Conditional Use Permit to allow for a food market (Farm Fresh Foods) to be located at 13751 San Pablo Avenue (APN 417-130-035 and 417-130-034). The project site is located within the designated Plaza San Pablo development area, formerly known as the Circle S redevelopment site, at the corner of San Pablo Avenue and Church Lane within an existing structure. The proposed site is within the Mixed Use Center South regulating code area in the San Pablo Avenue Specific Plan. Pursuant to California Environmental Quality Act (CEQA), it has been determined that the proposed project is exempt from CEQA consistent with the provisions of CEQA guidelines sections 15301, class 1, existing structures and 15332, class 32, infill development.

NOTICE IS HEREBY FURTHER GIVEN that said hearing before the Planning Commission will be on Tuesday, March 27, 2018. The meeting will be held at 6:30 p.m. in the City Council Chambers at One Alvarado Square, 13831 San Pablo Avenue, San Pablo, CA 94806, at which time and place all persons interested may appear and be heard. Questions may be directed to the City of San Pablo Development Services Department at (510) 215-3030.

NOTE: If you challenge this item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

If you need Spanish language assistance, please contact Development Services at (510) 215-3030. Si necesita asistencia en español, por favor contacte al Departamento de Servicios de Desarrollo al (510) 215-3030.

**Rod Simpson, Consulting Planner  
Community & Economic Development**

WCT 6122991 March 17, 2018

## RESOLUTION 2018-034

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN PABLO AMENDING THE CITY'S CLASSIFICATION AND COMPENSATION PLAN FOR FY 2017/18 AND APPROVING: (1) ESTABLISHMENT OF THREE NEW CLASSIFICATIONS AND CORRESPONDING SALARY RANGES; (2) REORGANIZATION OF THE PUBLIC WORKS DEPARTMENT AND CITY MANAGER'S OFFICE; (3) MERGER OF THE DEVELOPMENT SERVICES DEPARTMENT WITH ECONOMIC DEVELOPMENT INTO ONE COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT FOR IMPROVED OPERATIONAL EFFICIENCIES; AND (4) BUDGETARY APPROPRIATIONS TO EFFECTUATE THE CHANGES**

WHEREAS, this action is consistent with the adopted Policy Items, *Reorganizational Analysis* and *Fiscal Sustainability* in the FY2018-21 Council Priority Workplan, effective November 1, 2017;

WHEREAS, this is not a project as defined by CEQA;

WHEREAS, the City Council adopted a quadrennial budget on June 19, 2017 and the proposed amendments to the Classification and Compensation Plan (hereafter referred to as "the Plan") are consistent with the City Council's already approved budget in relation to staffing and salaries;

WHEREAS, the Plan delineates procedures and schedules for future updates to ensure it continues to maintain position control and therefore is in line with the City Council's approved budgetary spending on salaries;

WHEREAS, staff has conducted such audits and appraisals as required above, that have resulted in the various amendments to the Plan and are detailed in this resolution;

WHEREAS, the City has met its obligation under the MMBA (Meyers-Milias Brown Act) to meet and confer with the affected labor union (AIE) with respect to the staffing changes and the union is in agreement with the proposed amendments;

WHEREAS, the following changes are proposed in order to effectuate a Public Works Department reorganization:

- reclassify the FT Environmental Programs Analyst to Sr. Management Analyst
- add an Assistant Engineer

WHEREAS, the total FTE (Full Time Equivalent) employee change for the Public Works Department will be an increase to staffing of one (1) FTE;

WHEREAS, Personnel Administration staff has studied the current staffing levels, the complexity of the work being performed, and the type of projects and programs that are currently processed by employees in Development Services;

WHEREAS, the results of the study indicate that the department could be better served by reclassifying a couple of positions, and merging the Economic Development function (which currently resides in the City Manager's Office) with this department in order to facilitate sharing resources and to more efficiently staff the department to deal with complex City-initiated, and privately funded development projects;

WHEREAS, the recommended changes for the new Community & Economic Development Department and the City Manager's Office are as follows:

- reclassify the Assistant Planner position to Planning Manager
- reclassify the Development Services Director position to a new Community & Economic Development Director position (which will be filled by the incumbent currently serving as the Assistant to the City Manager-Econ. Dev.)
- reclassify the Assistant to the City Manager (Econ. Dev.) position to a Management Analyst position in the City Manager's Office (in the Confidential Employees group)

WHEREAS, the changes above will not result in any FTE changes;

WHEREAS, in past years, the Community Services Department has partnered with Contra Costa County Office of Education (CCCOE) to provide summer internships for high school students and, hence, funding for this program through CCOE (\$10,000) was included in each year of the current four-year budget;

WHEREAS, starting with the 2018 summer break for students, Community Services staff intends to bring this program in-house, rather than use CCCOE as the intermediary (for which the City pays a fee to CCCOE); so that by providing this program in-house, staff has more control over the selection of candidates, the curriculum, and placing of the interns within City Departments;

WHEREAS, the High School Interns will be classified as part-time City of San Pablo employees; and hence, a new classification of "High School Intern" is also being proposed as part of this Plan Amendment with a commensurate salary range;

WHEREAS, the proposed changes to Community Services staffing are as follows:

- add six (6) High School Intern positions at 100 hours per summer

WHEREAS, the above will result in an FTE increase of 0.3 given the limited number of hours that the interns will work, as compared to a full time employee;

WHEREAS, a draft Organizational Chart (Exhibit A) reflecting all the departmental changes discussed is attached and also attached are Draft Job Descriptions for the new classifications proposed to be added (Exhibits B - D) which will be included as part of *Section XIII, Class Specifications/ Job Descriptions* of the FY 2017/18 Classification &

Compensation Plan; and corresponding changes have also been made to the Salary Range schedules attached as Exhibit E;

WHEREAS, the proposed departmental reorganizations were discussed with the Budget, Fiscal & Legislative Standing Committee at their Special Meeting of February 27, 2018 and after review and discussion, the Committee voted in favor of recommending approval to the City Council of the Plan amendments; and

WHEREAS, the cost of the Plan amendments will be absorbed within existing resources and no additional appropriations are being requested, however, re-appropriations from existing budgets will have to be made as follows

- **Public Works: funding will be absorbed within existing resources - no additional appropriation needed:**
  - adding an Assistant Engineer, while leaving the Engineering Aide position vacant requires a re-appropriation from Professional Services (200-3310-43600) to Salaries (200-3310-41000) in Engineering of approximately \$35,600/ per fiscal year for FY2018/19 – FY2020/21. There will be no need to make this transfer in FY 2017/18 given that the expense will be covered by salary savings (the Engineering Aide position has been vacant since December, and it is expected that the Assistant Engineer position would not be filled until July 1, 2018); and,
  - adding a Sr. Management Analyst, and removing an Environmental Programs Analyst position requires a re-appropriation from Professional Services in Engineering (200-3310-43600) to Salaries in NPDES (255-35104100) of approximately \$20,000/ fiscal year for FY2018/19 – FY2020/21. In FY2017/18, the re-appropriation from the same Professional Services account to Salaries should be \$6,700; and,
- **Community & Economic Development Services Department & City Manager's Office: Funding will be absorbed within existing resources - no additional appropriation needed:**
  - adding Community & Economic Development Director and removing a Development Director position requires a re-appropriation from CMO/Economic Development Salaries (100-1320-41000) to Community & Development Salaries (212-1755-41000) of approximately \$6,400/ fiscal year for FY2018/19 – FY2020/21. In FY2017/18, the re-appropriation from CMO/Economic Development to Community & Economic Development Services should be \$4,700; and,
  - adding a Planning Manager and removing an Assistant Planner requires a re-appropriation from CMO/Economic Development Salaries & Benefits (100-1320-41000) to Community & Economic Development Salaries & Benefits (212-1755-41000) of approximately \$50,000/ fiscal year for

FY2018/19 - FY 2020/21. In FY2017/18, the re-appropriation from CMO to Community & Economic Development Services should be \$20,000; and,

- adding a Management Analyst and removing an Assistant to the City Manager in the City Manager’s Office requires a re-appropriation from Economic Development Salaries & Benefits (100-1320-41000) to CMO Salaries & Benefits (100-1310-41000) of approximately \$96,000/fiscal year for FY2018/19 – FY2020/21. The Management Analyst position will not be filled in the current fiscal year; and,
- **Community Services: Funding will be absorbed within existing resources - no additional appropriation needed:** bringing the High School Intern program in-house results in an FTE increase of 0.3 (given the limited number of hours that they will be working as compared to a full time employee); the cost of providing this program in-house is budget neutral, as the costs of participating in a similar program through CCCOE had already been included in the current four-year budget; however, staff will have to move the allocated funds (\$10,000 per fiscal year from the Programs & Supplies budget (100-5110-43500) to the Salaries & benefits budget (100-5110-41000); and,

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of San Pablo hereby approves the amendments to the City’s Classification and Compensation Plan for FY 2017/18 described herein and shown on Exhibit A to this Resolution including: (1) establishment of three new classifications and corresponding salary ranges; (2) reorganization of the Public Works department, City Manager’s Office, and the merger of the Development Services department with Economic Development into one Community & Economic Development Department for improved operational efficiencies as shown on Exhibits B through E to this Resolution; and (3) authorizes the City Manager, or his designee, to effectuate said reorganizations including any required re-appropriations.

\* \* \* \* \*

ADOPTED this 5<sup>th</sup> day of March, 2018, by the following vote:

AYES:	COUNCILMEMBERS:	Cruz, Kinney, Morris and Calloway
NOES:	COUNCILMEMBERS:	None
ABSENT:	COUNCILMEMBERS:	Valdez
ABSTAIN:	COUNCILMEMBERS:	None

ATTEST:	APPROVED:
---------	-----------

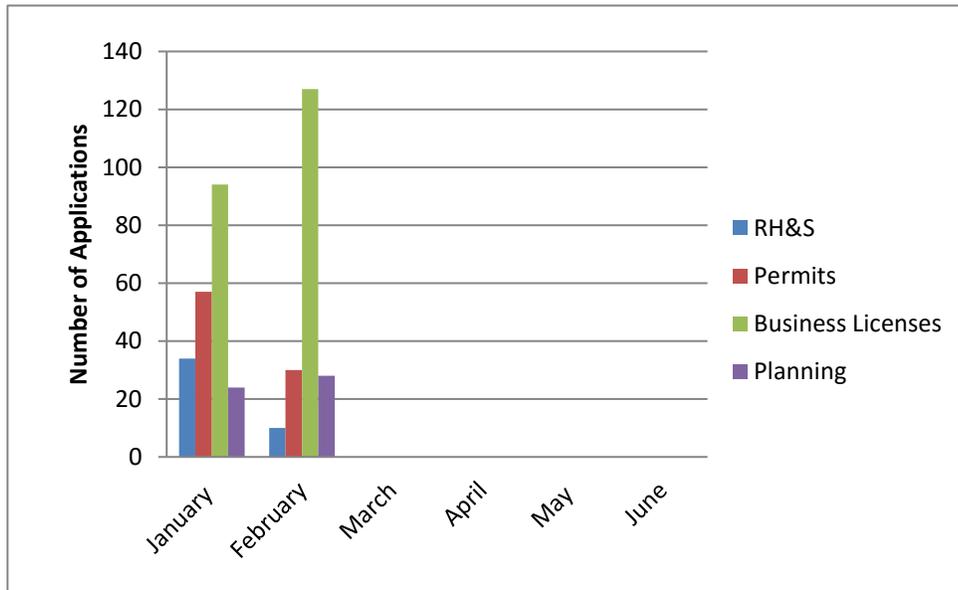
/s/ Elizabeth Pabon-Alvarado  
Elizabeth Pabon-Alvarado, City Clerk

/s/ Genoveva Garcia Calloway  
Genoveva Garcia Calloway, Mayor



**COMMUNITY & ECONOMIC DEVELOPMENT**

**Statistical Data**



**Applications Received: Residential Health & Safety, Building Permits, Business Licenses & Community Planning (January 2018 – June 2018)**

**YTD Total Applications Received – 404    YTD Total Fees Collected - \$243,969.72**

**YTD Total Number of Customers Assisted – 785**

Total fees collected by DS Department in February: \$88,775.15

Total # of applications received in February: 195

Total # of customers assisted at counter in February: 385

Residential Health & Safety Program February summary:

Total fees collected – \$4801.00, plus Imaging - \$198.00, Technology - \$238.00

- Single Family Resale: \$2737.00
- Single Family Rental: \$391.00
- Multi-Family Resale/Rental: \$2063.00
- Total units inspected: 126
- Total Certificates of Compliance issued: 19
- Customer Counter Assistance: 14

Building Permit February summary:

Total fees collected \$36,552.09

- Building Permits: \$23,533.46
- Electrical Permits: \$2,136.59
- Plumbing permits: \$3,044.42
- Mechanical permits: \$1,280.18
- Plancheck fees: \$3,911.77
- Imaging fees: \$1,176.34



- Technology fees: \$1,469.33
- Total Permits finalized: 36
- Fee Estimates provided: 3
- Customer Counter Assistance: 83
- Public Records Requests: 20
- Employee time spent responding to Public Records Requests: 5 hrs.

#### Business License February summary:

Total fees collected: \$39,076.16

- Business licenses issued: 127
- Customer Counter Assistance: 64

#### Community Planning February summary:

- Total Fees Collected: \$7909.90 for (4) Sign review, (3) Land Use review, (14) Info/Misc., (2) Design Review, (1) Use Permit admin review, (1) Zoning letter, (2) Home Occupation, (1) Use Permit/Planning Commission.
- Customer Counter Assistance: 41

#### Planning Commission:

The Planning Commission met on February 27, 2018. The following items were considered:

**PLAN1711-0036**: Consideration of a Conditional Use Permit for an on-site alcohol license for beer and wine only for a new restaurant, Burgerim, at 2300 El Portal Drive, San Pablo, CA 94806, APN 416-160-039. The property is within the San Pablo Avenue Specific Plan and has the Neighborhood Commercial land use designation. It has been determined that the proposed project is exempt from the California Environmental Quality Act (CEQA), consistent with the provisions of CEQA Guidelines Section 15301, Class 1, Existing Facilities. Class 1 addresses an existing private structure, such as this recently renovated building, where a restaurant will be operating.

**RECOMMENDATION: Adopt Resolution 18-02 approving PLAN1711-0036, a Conditional Use Permit for an On-Site Beer and Wine License for a New Restaurant, Burgerim, at 2300 El Portal Drive Unit F, APN 416-160-039.**

#### NEW BUSINESS

Revised 2018 Planning Commission Regular Meeting Schedule:

Per City Council Ordinance 18-009, adopted by City Council February 5, 2018, and effective March 7, 2018, the regularly Planning Commission meetings shall be moved from third Tuesday of the month to the fourth Tuesday of the month.

#### STAFF UPDATES

- Development Services Monthly Report.
- Housing Element Annual Progress Report 2017.
- Certificates of Appreciation for outgoing Planning Commissioners Matthew Trujillo and Jeffrey Inglis.
- AB 1234 trainings due prior to participation in 2018 Planning Commissioners Academy: ethics training certificates due from Chair Xavier, Commissioner Shi, Commissioner Gantt, and Commissioner Harlan-Ogbeide.



### Customer Counter Assistance for One-Stop Shop Service:

- Dump Vouchers: 16
- Public Works: 39
- Code Enforcement: 7
- Miscellaneous: 121 (Questions - general information, etc.)

## Significant Events / Work Plan Accomplishments

### Planning Division

- Onboarding and swearing in of two new Planning Commissioners appointed by City Council:
  - Dorothy Gantt, 4-year term (Feb 2018 – Feb 2022)
  - Dr. Charlene Harlan-Ogbeide, 4-year term (Feb 2018 – Feb 2022)
- Special Planning Commission meeting held 2/27/18 (rescheduled from 2/20/18).
- Conditional Use Permit for on-site beer and wine license approved by Planning Commission for a new restaurant, **Burgerim**, at 2300 El Portal Drive, Unit F, APN 416-160-039.
- Planning Commission meeting dates revised on website and City calendars per City Council Ordinance 18-009, adopted 2/5/18 and effective 3/7/18, moving the regularly scheduled Planning Commission meetings from the third Tuesday of the month to the fourth Tuesday of the month.
- Registered five (5) Planning Commissioners for 2018 Planning Commissioners Academy to be held in Monterey April 4-6, 2018.
- Weekly planning staff meetings reviewing current and upcoming projects.

### Building Division

- Updated Residential Health & Safety program information on website.
- Issued AT&T permits.
- Issued outstanding public works permits.
- Corrected RH&S technology fees; changed fund from 200 to 212; notified Finance 2/14.

### Community & Economic Development Department

- Semi-monthly Supervisory meetings with Assistant City Manager.
- Community & Economic Development and Code Enforcement coordination meetings.
- Conducted departmental staff training on how to take in planning applications and collect payments.
- Off-site Community & Economic Development Department Team Building and Strategy Work Session held on February 21, at which time department personnel collaboratively refined the vision elements for planning horizon 2018-2021, identified key strategic initiatives, and developed a timetable for implementation of the master plan.



## **Citywide**

- Supervisors attended 2018 Employment Law Update and Risk Management training conducted by Human Resources/City Attorney.
- Presented Housing Element Annual Progress Report to City Council 2/20/18 for approval.
- Presented Existing City Hall General Plan/San Pablo Avenue Specific Plan Amendments and Mitigated Negative Declaration to City Council 2/20/18 for approval and adoption.
- Filed Notice of Determination 2/28/18 with Contra Costa County Clerk-Recorder as to Existing City Hall General Plan/San Pablo Avenue Specific Plan Amendments and adoption of Mitigated Negative Declaration, commencing the running of 30-day statute of limitations for legal challenges.

# 2018 Planning Commission 500' Radius City of San Pablo

