



City of San Pablo Planning Commission

AGENDA

Tuesday, October 23, 2018 at 6:30 pm
City Hall Council Chambers, Building 2
13831 San Pablo Avenue, San Pablo, CA 94806

Roll Call Rita Xavier, Chairperson
Roberta Feliciano, Vice-Chair
Yuhong Shi
Dorothy Gantt
Dr. Charlene Harlan-Ogbeide

Pledge of Allegiance

Introductions Introduction of staff members.

Public Comment This is the time for comments on any item within the Planning Commission’s jurisdiction, if such item is NOT listed on the agenda. Anyone who wishes to address the Planning Commission on a topic that is not on the agenda is requested to give a speaker form to staff. There is a 3-minute limit on public comments (6-minute limit w/translation). Comments on agenda items will be heard when that item is called.

Meeting Procedures Members of the public attending a Planning Commission meeting for the first time are encouraged to read the “Meeting Procedures” information following the agenda.

Consent Calendar The Consent Calendar includes routine items that are to be enacted by one motion. There will be no separate discussion of these items. If discussion is requested, the item will be removed from the Consent Calendar and considered separately.

Item number(s):

1. Approval of Minutes

From the meeting held on September 25, 2018

2. Approval of the Agenda

At the discretion of the Chair, items on the agenda may be heard in an order different from that which appears on the agenda.

Appeal Date The appeal date for actions taken by the Board at this meeting is no later than 6:00 p.m. on **Tuesday, November 6, 2018.**

Public Hearing(s)

1. PLAN1809-0012

GENERAL PLAN AMENDMENT TO ADOPT A HAZARD MITIGATION PLAN.

Consideration of the adoption of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update into the City of San Pablo Safety Element of the General Plan. Adopting this plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). California State Assembly Bill 2140, passed in October 2006, also allows a local jurisdiction to be eligible for consideration for part or all of its local costs to be provided by through the California Disaster Assistance Act (CDAA). Language in the Hazard Mitigation Plan allows the City of San Pablo to apply for funds for the following hazards of concern: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. The Planning Commission will forward a recommendation to the City Council on this matter.

Location

Citywide

CEQA

The proposed action is a project under the California Environmental Quality Act (CEQA) through the use of the Section 15061, Review for Exemption. However, there is no possibility that the activity of incorporating the HMP into the Safety and Nosis Element of the City of San Pablo General Plan may have a significant effect on the environment, and the activity is not subject to CEQA pursuant to Section 15061(B)(3).

Owner

City of San Pablo

Applicant

City of San Pablo

Staff Contact

Elizabeth Dunn, Planning Manager

Recommendation

RECOMMEND ADOPTION OF THE HAZARD MITIGATION PLAN AND FORWARD RECOMMENDATION TO THE CITY COUNCIL

2. PLAN1809-0007

CONDITIONAL USE PERMIT FOR TANDEM PARKING ON A SUBSTANDARD LOT

Conditional Use Permit, PLAN1809-0007, a request for approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep (4,995 square feet) at 1108 Brookside Avenue, San Pablo, Ca (APN 417-010-023). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

Location

1108 Brookside Avenue

APN

417-010-023

Zoning

R-1 Single-Family Residential

CEQA

Categorical Exemption under Section 15301, Existing Facilities Class 1(e), addition to an existing structure.

Owner

Ardalan Payvar

Applicant

Ardalan Payvar

Staff Contact

Sandra Marquez, Assistant Planner

Recommendation

CONDITIONAL APPROVAL

3. PLAN1808-0009

CONDITIONAL USE PERMIT TO EXPAND AN EXISTING NON-CONFORMING DUPLEX AND ALLOW TANDEM PARKING FOR TWO VEHICLES

Conditional Use Permit, PLAN1808-0009, a request for approval of a Conditional Use Permit to expand an existing non-conforming use by adding 222 sq. ft. of living area to one unit of an existing duplex and to allow tandem parking for two vehicles in order to accommodate for the required four (4) off street parking spaces at 1715/1719 Dover Avenue, San Pablo, Ca (APN 411-222-013). The property is zoned single family residential (R1). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

Location	1715/1719 Dover Avenue
APN	411-222-013
Zoning	R-1 Single-Family Residential
CEQA	Categorical Exemption under Section 15301, Existing Facilities Class 1(e), addition to an existing structure
Owner	Yolanda Figueroa
Applicant	Yolanda Figueroa
Agent for Applicant	Cari R. Jelen
Staff Contact	Sandra Marquez, Assistant Planner
Recommendation	CONDITIONAL APPROVAL

**Study Session/
Discussion**

- A. **Zoning Ordinance Update Study Session: Air Quality Health Risk Overlay** presented by Elizabeth Dunn, Planning Manager
- B. **General Plans, Specific Plans, and Zoning Ordinances** presented by Lynn Tracy Nerland, City Attorney

Staff Updates

- A. Announcements
- B. December Planning Commission Meeting cancellation vs rescheduling
- C. Memo regarding 2019 Planning Commission dates
- D. Community & Economic Development Department project status

**Commissioner
Updates**

- A. Commission member reports regarding meetings or conferences
- B. Announcements

Adjournment

The next meeting of the City of San Pablo Planning Commission is scheduled on **Tuesday, November 27, 2018.**

ADA In accordance with the Americans with Disabilities Act, persons requiring assistance or auxiliary aids in order to participate should contact the Planning Division at 13831 San Pablo Avenue, Building 3, San Pablo, CA 94806, telephone (510) 215-3030, email ElizabethD@SanPabloCA.gov, as soon as possible prior to the meeting. The City will give such requirements primary consideration, taking into account undue financial and administrative burdens or fundamental alterations in the City service, program or activity.

Records Copies of this agenda and non-exempt records relating to an open session item on this agenda will be available for public review at the City Clerk’s office, 13831 San Pablo Avenue, Building 1, at the same time they are distributed or made available to the Commission.

Meeting Procedures **Function of a Public Hearing** A public hearing is intended to inform the public of pending proposals and to enable members of the public to present relevant information and viewpoints before any Planning Commission action. The Planning Commission encourages community participation at its meetings and has established procedures that are intended to accommodate public input in a timely manner as follows.

Speaker Registration Persons wishing to speak on a particular item on the agenda are requested to submit a speaker form with the staff prior to the Planning Commission’s consideration of the item. The Planning Commission Chairperson will invite you to speak at the appropriate time when the matter is being considered.

Consent Calendar Applications that are considered routine by the Staff have been placed on the consent calendar with a recommendation to approve, conditionally approve, or continue the item to a date certain. The Planning Commission may act in one motion to adopt the staff recommendations on those items.

Prior to voting on the consent calendar, the Chair will ask if any member of the public wishes to speak on any of the items listed on the consent calendar. If you wish to speak, please rise and request that the agenda item be removed from the consent calendar. Items removed will be discussed in the numerical order listed on the agenda.

Public Hearing Procedure

1. Chair identifies the agenda item and explains any deviation from the standard speaker rules.
2. Staff presents a brief project summary and makes a preliminary recommendation.
3. Planning Commission members may ask questions of Staff regarding the proposal.
4. Chair opens the public hearing.
5. Applicant is invited to describe and explain the proposal..... 5 minute limit*
6. Registered speakers..... 5 minute limit*
7. Applicant may make rebuttal comments..... 3 minute limit*
*All time limits shall be doubled if translation is needed.
8. Planning Commission members may ask follow-up questions of the speakers at any time.
9. Staff presents a final summary and recommendation.
10. Planning Commission members discuss the proposal and vote either to close or to continue the public hearing to a specific date.

11. If the public hearing is closed, Planning Commission members further discuss the proposal and vote to approve, to approve with conditions, or to deny the application.
12. Chair informs the audience of the Planning Commission's action and appeal process.

Appeals Decisions of the Planning Commission may be appealed to the City Council within ten (10) days. Appeals must be submitted to the City Clerk's office in writing and must indicate the reasons that the Planning Commission's action should be reversed.

Legal Challenge Notice If you challenge a decision on any of the items on this agenda in court, you may be limited to only those issues you or someone else raised at any public hearing on the item challenged, or in written correspondence delivered to the public entity conducting the hearing at, or prior to, the public hearing.

Meeting Time Limits If all of the agenda items are not completed by 9:00 PM, the items remaining shall be continued to the next regular meeting unless the Planning Commission votes to extend the meeting.

Staff Reports and Tentative Recommendations Copies of the staff reports for the public hearing items on this agenda can be viewed on the City of San Pablo's website at:

<http://www.ci.san-pablo.ca.us/875/Planning-Commission>

Go to: Agendas>Most Recent Agenda (for current agenda)

Cell Phones Please silence all cell phones, pagers, and other electronic devices during the meeting.

Assistance

Any questions related to the Planning Commission hearing, Zoning, or related planning activities can be directed to the San Pablo City Planning Division at (510) 215-3030.

- * **If you need Spanish language assistance, please contact the Community & Economic Development Department at (510) 215-3030.**
- * **Si necesita asistencia en español, por favor contacte al Departamento de Desarrollo Comunitario y Económico al (510) 215-3030.**



City of San Pablo Planning Commission MINUTES

Tuesday, September 25, 2018 at 6:30 pm
City Hall Council Chambers, Building 2
13831 San Pablo Avenue, San Pablo, CA 94806

Roll Call

Chairperson Xavier called the meeting to order at 6:30 p.m. Call of the roll showed present: Commissioner Shi, Chairperson Xavier, and Vice Chair Feliciano. Commissioner Harlan-Ogbeide and Commissioner Gantt were absent. Staff present at the meeting included: Sarah Maroof, Secretary to the City Attorney; Michelle Chavez, Administrative Secretary; Elizabeth Dunn, Planning Manager; Lynn Tracy Nerland, City Attorney; and Charles Ching, Community & Economic Development Director.

Public Comment

None.

Meeting Procedures

Members of the public attending a Planning Commission meeting for the first time were encouraged to read the "Meeting Procedures" information following the agenda.

Consent Calendar

1. Approval of the Minutes

Commissioner Feliciano made a motion to approve the minutes for the meeting of August 28, 2018. The motion was seconded by Commissioner Shi and approved by a vote of 3-0-2.

AYES: Xavier, Feliciano, Shi
NOES: None
ABSENT: Gantt, Harlan-Ogbeide
ABSTAIN: None

Appeal Date

Chairperson Xavier announced that the appeal date for actions taken by the Board at this meeting would be no later than 6:00 p.m. on **Tuesday, October 9, 2018.**

Public Hearing(s)

1. PLAN1808-0024

Description

GENERAL PLAN CONFORMANCE FOR 2395 ROLLINGWOOD, SAN PABLO, CA

Consideration of a finding of General Plan conformance for the acquisition of a parcel by the City of San Pablo, as required under Government Code Section 65402. This is a City initiated project. The parcel is identified as 2395 Rollingwood Drive, APN 416-074-004. The proposed findings have been determined to be exempt from the provisions of the California Environmental Quality Act, in accordance with CEQA guidelines 15061(b)(3), no potential for causing a significant effect on the environment.

Location

2395 Rollingwood Drive, San Pablo

APN

416-074-0004

Zoning	R-6, Single-Family Residential (Contra Costa County Zoning Designation)
CEQA	Categorical exemption pursuant to California Environmental Quality Act §15061 (b)(3), no potential for causing a significant effect on the environment.
Owner	Contra Cost County
Applicant	City of San Pablo
Agent for Applicant	Charles Ching
Staff Contact	Elizabeth Dunn, Planning Manager
Recommendation	CONDITIONAL APPROVAL

Planning Manager Dunn gave a presentation of the project and staff recommendations, after which the Planning Commissioners were invited to ask questions of staff. Commissioner Shi inquired about the cost for the acquisition. Director Community & Economic Development Ching responded that the City and County have not yet discussed price and terms of purchase. Commissioner Feliciano inquired if the building would be used as a recreation center. Mr. Ching commented that the use of the property is currently undetermined.

Commissioner Feliciano made a motion, seconded by Commissioner Shi, to approve Resolution 18-10 of the Planning Commission of the City of San Pablo approving the acquisition of a parcel by the City of San Pablo, as required under Government Code 65402. This is a City initiated Project. The parcel is identified as 2395 Rollingwood Drive, at the Northeast corner of Rollingwood and Greenwood Drive. The motion was approved by a vote of 3-0-2, with no changes to the conditions of approval presented by staff.

- AYES: Shj, Xavier, Feliciano
- NOES: None
- ABSENT: Harlan-Ogbeide, Gantt
- ABSTAIN: None

Study Session/Discussion

A. Zoning ordinance Update Study Session: Residential On-Site Parking Requirements

Planning Manager Dunn led a Study Session on potential updates to the Zoning Ordinance related to Residential On-Site Parking Requirements and responded to questions and comments by the Commissioners.

Planning Manganer Dunn outlined the language in the current Zoning Code, which establishes a two-tiered system of review for on-site tandem parking: 1) Conditional Use Permits for tandem parking on lots less than 50 feet wide, with required review by the Planning Commission; and 2) Administrative Use Permits (staff review) for tandem parking on lots of at least 50 feet in width. The two-tiered system adds additional time (2+ months vs 1 month) and fees when projects are required to go before the Planning Commission. Staff recommends streamlining the process so that permits for tandem parking on lots less than 50 feet wide would not be required to be reviewed by the Planning Commission. Both the Conditional and Administrative Use permits would only require staff review.

Staff also recommends removing language in Section 17.54.020 and 17.54.030 about “similar vehicles,” as this is confusing. There is language in Section 17.60.050 discussing that recreational vehicles and boats (20 feet or less in length) can locate in the rear of a residential parcel.

Commissioner Shi requested clarification of the current review requirements for Conditional Use Permits for tandem parking. Planning Manager Dunn responded that there isn’t a difference in the kind of review staff is doing, just the process, specifically Planning Commission review if the lot is less than 50 feet wide versus administrative review if the lot is 50 feet or greater in width.

Commissioner Feliciano inquired if staff has received many comments or concerns from the community regarding tandem parking. Planning Manager Dunn responded that the City has not received many comments or concerns, and the City has not received many Conditional Use Permit requests for tandem parking. Planning Manager Dunn further explained that Administrative Use Permits take around four weeks to process, whereas Conditional Use permits could take two or more months to process as they need to come before the Planning Commission. Commissioner Feliciano also asked if there is a difference in cost between the Conditional Use Permit and Administrative Use Permit. Planning Manager Dunn stated the difference in fees charged to the applicant is around \$600.

Commissioner Feliciano asked if 300-ft notices are sent to adjoining properties for projects applying for Administrative Use Permits. Planning Manager Dunn responded that notices are not sent out for Administrative Use Permits. Commissioner Feliciano also inquired whether a brand new house on a lot less than 50 feet wide would need to go to the Planning Commission. Planning Manager Dunn stated that this would be considered a minor design review and would not need Planning Commission review, unless it was a 2-story structure or had other issues that would trigger Planning Commission review. Planning Manager Dunn reported that, this year, three Conditional Use Permits were brought before the Planning Commission, and in that same time frame, staff completed seven Administrative Use Permit reviews.

Commissioners Feliciano, Shi and Xavier voiced no objection to staff proceeding with the recommended updates to the Zoning Ordinance regarding residential on-site parking requirements, specifically to streamline the Conditional Use Permits process to allow for staff review instead of Planning Commission review, with the understanding that the matter would be brought back to the Planning Commission for formal consideration and recommendation to the City Council.

B. Overview of CEQA (California Environmental Quality Act)

City Attorney Lynn Tracy Nerland gave a presentation on CEQA (California Environmental Quality Act) and the environmental review process, and responded to questions and comments by the Commissioners.

Staff Updates

Director Ching formally introduced Michelle Chavez to the Planning Commission as the new Administrative Secretary for the Community and Economic Development Department. On September 19, 2018, the City held an informational session for candidates running for City office in the November election, with presentations given by the City Manager and Department Directors. Director Ching also reported that the WIC (Women Infant Children) building is near completion and is scheduled to open in November, and grading has begun at the new City Hall site.

Planning Manager Dunn gave an overview of upcoming projects, including proposed Zoning Ordinance and General Plan updates. She reported that there would be continuing monthly Zoning Ordinance Update Study Sessions to address different topics currently under review.

Commissioner Updates

There were no Commission member reports or announcements.

Adjournment

There being no further business, Commissioner Feliciano made a motion, seconded by Commissioner Shi and passed by a vote of 3-0, to adjourn the meeting.

Chair Xavier adjourned the meeting at 7:25 p.m. to the October 23, 2018 meeting.

Rita Xavier, Chairperson

Charles Ching, Secretary

Planning Commission Staff Report

PREPARED BY: Elizabeth Dunn, Planning Manager

DATE: October 23, 2018

SUBJECT: **PLAN1809-0012, GENERAL PLAN AMENDMENT: TO ADOPT A HAZARD MITIGATION PLAN:** Consideration to amend the Safety and Noise Element of the City of San Pablo General Plan by adopting all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update. Adopting this plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). The Planning Commission will forward a recommendation to the City Council on this matter.

PROJECT TITLE AND REQUEST

Recommendation of the Planning Commission to amend the Safety and Noise Element of the City of San Pablo General Plan by adopting all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update, and forward this recommendation to the City of San Pablo City Council.

STAFF RECOMMENDATION

Adopt Resolution 18-11 recommending the amendment of the City of San Pablo Safety and Noise Element of the General Plan by adopting of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update (HMP), and forward this recommendation to the City of San Pablo City Council.

BACKGROUND

Owner: City of San Pablo
Applicant: City of San Pablo
Location: CITYWIDE
Parcel Number: CITYWIDE
General Plan: San Pablo Safety Element and Noise Element
Zoning District: CITYWIDE

PROJECT DESCRIPTION

The proposed project is to amend the Safety and Noise Element of the City of San Pablo General Plan with the adoption of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update

("HMP"). Incorporating the HMP into the City of San Pablo Safety and Noise General Plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). California State Assembly Bill 2140, passed in October 2006, also allows a local jurisdiction to be eligible for consideration for part or all of its local costs to be provided through the California Disaster Assistance Act (CDAA). Language in the HMP allows the City of San Pablo to apply for funds for the following hazards of concern: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. The Planning Commission will forward a recommendation to the City Council on this matter.

BACKGROUND

1. Hazard Mitigation Planning (HMP) in Contra Costa County

In November of 2016, a coalition of Contra Costa County cities and special districts embarked on a planning process to prepare for and lessen the impacts of specified natural hazards by updating the Contra Costa County Operational Area Hazard Mitigation Plan. Responding to federal mandates in the Disaster Mitigation Act of 2000 (Public Law 106-390), the partnership was formed to pool resources and to create a uniform hazard mitigation strategy that can be consistently applied to the defined planning area and used to ensure eligibility for specified grant opportunities.

This effort represents the third comprehensive update to the initial hazard mitigation plan, approved by FEMA in November of 2005 and developed in partnership with the Association of Bay Area Governments (ABAG), as well as a return to a truly regional effort following the 2010 planning process. The 35-member coalition of partners involved in this program includes unincorporated Contra Costa County, 14 city and town governments and 20 special purpose districts. The planning area for the hazard mitigation plan was defined as the Contra Costa County Operational Area. The result of the organizational effort will be a FEMA and California Office of Emergency Services (CalOES) approved multi-jurisdictional, multi-hazard mitigation plan ("Plan"). Given the length of the Contra Costa County Operational Area Hazard Mitigation Plan (Attachment 2), the complete document can be downloaded from this link:

<http://www.co.contra-costa.ca.us/DocumentCenter/View/48893/Contra-Costa-County-Draft-Local-Hazard-Mitigation-Plan-Volume-1-January-31-2018>

The City of San Pablo Annex of the Contra Costa County Operational Area Hazard Mitigation Plan (see Volume 2, Section 13) is Attachment 3 of this staff report.

Mitigation is defined in this context as any sustained action taken to reduce or eliminate long-term risk to life and property from a hazard event. Mitigation planning is the systematic process of learning about the hazards that can affect the community, setting clear goals, identifying appropriate actions and following through with an effective mitigation strategy. Mitigation encourages long-term reduction of hazard vulnerability

and can reduce the enormous cost of disasters to property owners and all levels of government. Mitigation can also protect critical community facilities, reduce exposure to liability, and minimize post-disaster community disruption.

The hazard identification and profiling in the hazard mitigation plan addresses the following hazards of concern within the planning area:

1. Dam failure
2. Drought
3. Earthquake
4. Flood
5. Landslide
6. Severe weather
7. Tsunami
8. Wildfire

Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. With the exception of dam failure, this plan does not provide a full risk assessment of human-caused hazards. However, brief, qualitative discussions of the following hazards of interest are included: terrorism, cyber threats, hazardous materials release, pipeline and tank failure and airline incidents.

A Planning Team, consisting of local officials, has taken the lead in developing the Plan. All participating local jurisdictions have been responsible for assisting in the development of the hazard and vulnerability assessments and the mitigation action strategies for their respective jurisdictions and organizations. The Plan presents the accumulated information in a unified framework to ensure a comprehensive and coordinated plan covering the entire Contra Costa County Operational Area planning area. Each jurisdiction has been responsible for the review and approval of their individual sections of the Plan.

Additionally, the Plan has been aligned with the goals, objectives and priorities of the State's multi-hazard mitigation plan.

A 13-member Steering Committee (SC) composed of representative stakeholders was formed early in the planning process to guide the development of the Plan. In addition, residents were asked to contribute by sharing local knowledge of their individual area's vulnerability to natural hazards based on past occurrences. Public involvement has been solicited via a comprehensive public outreach campaign that included two rounds of public meetings, web-based information, a questionnaire, and multiple social media updates.

2. Why Adopt this Plan?

Once the Plan is adopted by all of the jurisdictional partners and approved by FEMA, the partnership will collectively and individually become eligible to apply for hazard mitigation project funding from both the Pre-Disaster Mitigation Grant Program (PDM)

and the Hazard Mitigation Grant Program (HMGP). The City of San Pablo adopted the HMP in April 2018 and is undertaking implementation of the HMP. Additionally, by incorporating the Plan into the City of San Pablo Safety and Noise Element, the City will be in compliance with AB2140, state legislation that covers up to 100% of the total state eligible costs when a disaster occurs. Currently, the maximum is 75% without an adopted local hazard mitigation plan.

3. Pre-Disaster Mitigation competitive grant program

The PDM competitive grant program provides funds to State, Tribal, and local governments for pre-disaster mitigation planning and projects primarily addressing natural hazards. Cost-effective pre-disaster mitigation activities reduce risk to life and property from natural hazard events before a natural disaster strikes, thus reducing overall risks to the population and structures, while also reducing reliance on funding from actual disaster declarations. Funds will be awarded on a competitive basis for mitigation planning and project applications intended to make local governments more resistant to the impacts of future natural disasters (*For more details on this program see the link in Attachment 2*).

4. What is the Hazard Mitigation Grant Program (“HMGP”)?

Authorized under Section 404 of the Stafford Act, the HMGP administered by FEMA provides grants to States and local governments to implement long-term hazard mitigation measures after a major disaster declaration. The purpose of the program is to reduce the loss of life and property due to natural disasters and to enable mitigation measures to be implemented during the immediate recovery from a disaster (*For more details on this program see the link in Attachment 2*).

5. Next steps

FEMA and the U. S. Department of Homeland Security has sent a letter, dated August 15, 2018, indicating that the City of San Pablo is now in compliance with the HMP (see Attachment 4). The City of San Pablo will now be eligible to apply for specified grants. The grant funds are made available to states and local governments and can be used to implement the long term hazard mitigation measures specified within the City of San Pablo’s annex of the HMP before and after a major disaster declaration. The HMP is considered a living document such that as awareness of additional hazards develops and new strategies and projects are conceived to offset or prevent losses due to natural disasters, the HMP will be evaluated and revised on a continual 5-year time frame.

6. Fiscal Impact

Adoption of the HMP does not involve the expenditure of funds, so there is no direct fiscal impact to the City of San Pablo at this time. However, the table in 13.10, Hazard Mitigation Action Plan and Evaluation of Recommended Actions of the Contra Costa County Hazard Mitigation Plan Volume 2 – Planning Partner Annexes, identifies future projects that will require funding based on priority. Funding for City of San Pablo Partner Annexes identifies future projects that will require funding based on priority. Funding for mitigation projects will be identified in future City of San Pablo budgets.

REQUESTED ENTITLEMENTS

Section 17.22.050, General Plan Amendment, of the City of San Pablo Municipal Code states that: “A general plan amendment may be initiated by the planning commission or the city council, by application of the property owner(s) of the parcel(s) to be affected by the general plan amendment, or by recommendation of the zoning administrator to clarify text, address changes mandated by state law, maintain internal general plan consistency, address boundary adjustments affecting land use designation(s), or for any other reason beneficial to the city.” The purpose of a General Plan Amendment is to allow for modifications to the General Plan ((e.g., goals, policies, or implementation programs) or to change the general plan land use designation on any parcel(s).

As previously stated, amending the Safety and Noise Element of the City of San Pablo General Plan to incorporate Volume 1 and all of the City of San Pablo portion of the Contra Costa County Operational Hazard Mitigation Plan is to ensure that the City remains eligible for grants under the various federal and state mitigation programs. Approved hazard mitigation plans may also be eligible for points under the National Flood Insurance Programs Community Rating System (CRS).

GENERAL PLAN CONFORMANCE AND FINDINGS

The Planning Commission of the City of San Pablo may recommend the City Council of the City of San Pablo approve a General Plan Amendment upon finding that the amendment is in the public interest and that the General Plan, as amended, will remain internally consistent:

- A. That the amendment to the Safety and Noise Element of the City of San Pablo General Plan is in the public interest as the amendment will strengthen and enhance the language and policies of the General Plan to allow the City to respond to potential future dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, or wildfire events within the City of San Pablo; additionally, this new language will allow the City of San Pablo to remain eligible for grants under the various federal and state mitigation programs; an approved hazard mitigation plan may also allow the City of San Pablo to be eligible for points under the National Flood Insurance Programs Community Rating System (CRS);
- B. That the amendment to the Safety and Noise Element of the City of San Pablo General Plan does not conflict with existing language in the Safety and Noise Element, and other elements of the General Plan of the City of San Pablo;
- C. That the proposed amendment is a project under the California Environmental Quality Act (CEQA) based upon the application of section 15061, Review for Exemption. However, there is no possibility that the activity of incorporating the HMP into the Safety and Noise Element of the City of San Pablo General Plan may have a significant effect on the environment, and the activity is not subject to CEQA pursuant to Section 15061(B)(3).
- D. That public notice of the hearing has been published in the October 13, 2018 West County Times edition of the East Bay Times, in accordance with the requirements of Government Code Section 65091(a)(4), and Section 17.16.050(2) of the City of

San Pablo Municipal Code.

The following guiding, or implementing policies, of the Safety and Noise Element of the City of San Pablo General Plan reinforce the importance of incorporating all of Volume 1 and the San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan into the Safety and Noise Element:

- SN-G-1: Minimize risks of property damage and personal injury posed by geologic and seismic risks.*
- SN-G-2: Minimize the risks to property, life, and the environment due to flooding hazards.*
- SN-G-3: Protect San Pablo residents and businesses from potential fire hazards.*
- SN-G-7: Foster an efficient and coordinated response to emergencies and natural disasters.*

ENVIRONMENTAL REVIEW

The proposed action is a project under the California Environmental Quality Act (CEQA) based upon the application of section 15061, Review for Exemption. However, there is no possibility that the activity of incorporating the HMP into the Safety and Noise Element of the City of San Pablo General Plan may have a significant effect on the environment, and the activity is not subject to CEQA pursuant to Section 15061(B)(3).

The City will be embarking on an update of the General Plan Amendment in 2019. As part of that process, it is expected that the City will create any additional General Plan goals, policies, and implementation measures for the Safety and Noise Element. As part of this larger General Plan update process, the City may need to create new language for the Zoning Code or update current language. For this reason, it is anticipated that further environmental review will be needed for the General Plan update, as well as any resulting and subsequent revisions to the Zoning Code to address hazard mitigations.

PUBLIC NOTICE AND COMMENTS

As a Citywide issue, and affecting more than one thousand property owners within the City of San Pablo, a public notice was delivered to the West County Times newspaper on Wednesday, October 10, 2018, and published on Saturday, October 13, 2018. To date, the City of San Pablo has not received comments on the proposed General Plan Amendment.

ATTACHMENTS

1. Resolution 18-11
2. Link to Volume 1 of the Contra Costa County Hazard Mitigation Plan and the City of San Pablo portion of the Hazard Mitigation Plan: <http://www.co.contra-costa.ca.us/DocumentCenter/View/48893/Contra-Costa-County-Draft-Local-Hazard-Mitigation-Plan-Volume-1-January-31-2018>
3. City of San Pablo portion of Volume 2 of the Hazard Mitigation Plan
4. August 15, 2018 Letter from the Federal Emergency Management Agency (FEMA) regarding compliance with the Disaster Mitigation Act of 2000
5. Proof of Publication

RESOLUTION 18-11

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN PABLO RECOMMENDING AMENDING THE SAFETY AND NOISE ELEMENT OF THE GENERAL PLAN TO INCORPORATE ALL OF VOLUME 1 AND THE CITY OF SAN PABLO PORTION OF VOLUME 2 OF THE CONTRA COSTA COUNTY OPERATIONAL AREA HAZARD MITIGATION PLAN, PLAN1809-0012

WHEREAS, in November of 2016, a coalition of Contra Costa County cities and special districts embarked on a planning process to prepare for and lessen the impacts of specified natural hazards by updating the Contra Costa County Operational Area Hazard Mitigation Plan (“”). Responding to federal mandates in the Disaster Mitigation Act of 2000 (Public Law 106-390), the partnership was formed to pool resources and to create a uniform hazard mitigation strategy that can be consistently applied to the defined planning area and used to ensure eligibility for specified grant funding success;

WHEREAS, the result of the organizational effort will be a FEMA and California Office of Emergency Services (CalOES) approved multi-jurisdictional, multi-hazard mitigation plan;

WHEREAS, the hazard identification and profiling in the hazard mitigation plan addresses the following hazards of concern within the planning area: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. With the exception of dam failure, this HMP does not provide a full risk assessment of human-caused hazards;

WHEREAS, the HMP presents the accumulated information in a unified framework to ensure a comprehensive and coordinated plan covering the entire Contra Costa County Operational Area planning area;

WHEREAS, the HMP is considered a living document such that, as awareness of additional hazards develops and new strategies and projects are conceived to offset or prevent losses due to natural disasters, the HMP will be evaluated and revised on a continual 5-year time frame;

WHEREAS, the federal Disaster Mitigation Act of 2000 requires all cities, counties, and special districts to adopt a Local Hazard Mitigation Plan to receive disaster mitigation funding from FEMA; and

WHEREAS, once the HMP is adopted by all of the jurisdictional partners and approved by FEMA, the partnership will collectively and individually become eligible to apply for hazard mitigation project funding from both the Pre-Disaster Mitigation Grant Program (PDM) and the Hazard Mitigation Grant Program (HMGP).

WHEREAS, on the City of San Pablo adopted the HMP in April 2018 and is undertaking implementation of the HMP. August 15, 2018, the City of San Pablo received a letter from the

Federal Emergency Management Agency (FEMA) which is within the U.S. Department of Homeland stating that the City was now in compliance with the Disaster Mitigation Act of 2000 (Exhibit 1). The HMP provides guidance and insight to the hazards that exist in the City of San Pablo and suggests possible mitigation projects. This HMP should be consulted when addressing known hazards to ensure the general health and safety of the City of San Pablo residents;

WHEREAS, the following guiding, or implementing policies, of the Safety and Noise Element of the City of San Pablo General Plan reinforce the importance of incorporating all of Volume 1 and the San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan into the Safety and Noise Element:

SN-G-1: Minimize risks of property damage and personal injury posed by geologic and seismic risks.

SN-G-2: Minimize the risks to property, life, and the environment due to flooding hazards.

SN-G-3: Protect San Pablo residents and businesses from potential fire hazards.

SN-G-7: Foster an efficient and coordinated response to emergencies and natural disasters.

WHEREAS, the proposed action is a project under the California Environmental Quality Act (CEQA) based upon the application of section 15061, Review for Exemption. However, there is no possibility that the activity of incorporating the HMP into the Safety and Noise Element of the City of San Pablo General Plan may have a significant effect on the environment, and the activity is not subject to CEQA pursuant to Section 15061(B)(3);

WHEREAS, the City will be embarking on an update of the General Plan Amendment in 2019. As part of that process, it is expected that the City will create any additional General Plan goals, policies, and implementation measures for the Safety and Noise Element. As part of this larger General Plan update process, the City may need to create new language for the Zoning Code or update current language. For this reason, it is anticipated that further environmental review will be needed for the General Plan update, as well as any resulting and subsequent revisions to the Zoning Code;

WHEREAS, public notice of the hearing has been published in the October 13, 2018 West County Times edition of the East Bay Times, in accordance with the requirements of Government Code Section 65091(a)(4), and Section 17.16.050(2) of the City of San Pablo Municipal Code.

NOW THEREFORE, BE IT RESOLVED, the Planning Commission of the City of San Pablo recommends the City Council of the City of San Pablo approve a General Plan Amendment upon finding that the amendment is in the public interest and that the General Plan, as amended, will remain internally consistent:

- A. That the amendment to the Safety and Noise Element of the City of San Pablo General Plan is in the public interest as the amendment will strengthen and enhance the language and policies of the General Plan to allow the City to respond to potential future dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, or wildfire events within the City of San Pablo; additionally, this new language will allow the City of San Pablo to remain eligible for grants under the various federal and state mitigation programs; an

approved HMP may also allow the City of San Pablo to be eligible for points under the National Flood Insurance Programs Community Rating System (CRS);

- B. That the amendment to the Safety and Noise Element of the City of San Pablo General Plan does not conflict with existing language in the Safety and Noise Element, and other elements of the General Plan of the City of San Pablo;

Adopted this 23th day of October, 2018, by the following vote:

AYES: Commissioner (s)
NOES: Commissioner (s)
ABSENT: Commissioner (s)
ABSTAIN: Commissioner (s)

ATTEST:

APPROVED:

Charles Ching, Secretary

Rita Xavier, Chairperson

13. CITY OF SAN PABLO

13.1 HAZARD MITIGATION PLAN POINT OF CONTACT

Primary Point of Contact

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 San Pablo, CA 94806
 Telephone: 510-215-3065
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Alternate Point of Contact

Barbara Hawkins, Public Works Director/City Engineer
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13.2 JURISDICTION PROFILE

The following is a summary of key information about the jurisdiction and its history:

- **Date of Incorporation**— April 27, 1948
- **Current Population**—The California Department of Finance (CA DOF) estimated population for the City of San Pablo is 30,829 as of January 1, 2016.
- **Population Growth**—The CA DOF estimated an increase in the population from 2015 (30,498) to 2016 (30,829) of 1.1 percent. Table 13-1 shows the CA DOF decennial population statistics for San Pablo from 1970 through 2010, with the percent change of the previous decades from 1980 to 2016.

Table 13-1. Population Statistics for San Pablo from 1970 to 2016

Year	Total City Population	Percentage Change from Previous Decade
1970	21,461	-
1980	19,750	-8.0%
1990	25,158	27%
2000	30,256	20%
2010	29,139	-3.7%
2016	30,829	5.8%

- **Location and Description**—The City of San Pablo is located in the northwestern portion of Contra Costa County and consists of 2.6 square miles. San Pablo’s sphere of influence extends an additional 229 acres outside the city limits to include the Rollingwood and Hillside residential areas. San Pablo is bordered by the City of Richmond to the north, west, and south and to the east by the unincorporated community of El Sobrante in Contra Costa County. The city is bisected by Interstate 80, which separates east and west San Pablo, and is a throughway to the City of Vallejo, Sacramento to the north and east, and with Richmond, Berkeley, Oakland and San Francisco to the south and west.
 San Pablo is an innovative city with many community programs. The City has nine facilities available to the community, including a commercial kitchen, and four city maintained parks with soccer fields (one includes a turf field), baseball fields, and a senior center. Wildcat Canyon Park and Hilltop Lake Park are in close proximity to the city. The City recently developed and adopted a bicycle and pedestrian master

plan to create an enjoyable place for walking and bicycling in San Pablo. The City is dedicated to protecting the environment through clean water, energy conservation, climate action and waste recycling programs. San Pablo conserves natural resources by providing programs and resources to reduce waste, recycle products that can be made into new products, and safely dispose of hazardous waste. The City also has a food scrap composting program for residents.

- **Brief History**— The following summary is an abbreviated version of an historical outline provided by the San Pablo Historical Society (<http://www.ci.san-pablo.ca.us/943/History>).

For thousands of years, Ohlone (also known as Costanoan) Indians resided in the bay area, living in villages along the East Bay of San Francisco. One village, between the two creeks now named Wildcat and San Pablo, is the site of what is now known as the city of San Pablo. Food was plentiful with two creeks providing fresh water, nourishing plants, and attracting animals. In addition, the bay was a source of fish and shellfish. In the late 1700s, the Spanish government in Mexico sent explorers into the area, followed by missionaries and settlers. Mission Dolores in San Francisco was founded in 1776. The ground in the area was not fertile for planting, and by 1815 the Indians had established Rancho San Pablo (the contra costa in Spanish) on the opposite coast of the bay to raise cattle and food for the mission. Rancho San Pablo was the first permanent non-Indian settlement in all of what is now Contra Costa County. Mexico gained independence from Spain, and began to divide up land owned by the missions. The overseer of Rancho San Pablo requested permission to claim the rancho as his own and in 1823, Francisco Castro was granted 17,000 acres of land. The rancho covered land that is now Richmond, El Sobrante, and Pinole, and extended all the way out to what is today called San Pablo Bay.

The Gold Rush and the annexation of California by the United States brought drastic changes to San Pablo. A stage route was established from San Francisco and Oakland to Sacramento and saloons lined the main street, which was wide enough to accommodate the movement of cattle herds. The Castro descendants began to sell off portions of their Rancho to American ranchers and farmers. A Post Office was established, a school was built, and churches founded. Many of the new ranchers were immigrants to the United States from Azore Island Portuguese, Chile, Germany, France, and China. A few African-Americans lived in the area as well. It is assumed that a number of Mexicans, such as the Castro's and Alvarado's, continued to live in the area as well. San Pablo was the home of Governor Juan Bautista Alvarado, the first native-born governor of the State of California, who had married one of the Castro daughters. The city was incorporated on April 27, 1948.

World War II changed the town of San Pablo forever. In just a few years, the population boomed from 2,000 to 25,000 people, due to the jobs at the Richmond Shipyard. People came from all over the United States to get jobs as welders. Many African Americans came from the South, and established the first sizable black community. Housing was put up on small lots as quickly as possible to accommodate these new workers. These tiny homes built during the war characterize San Pablo.

There were nightclubs and dance halls featuring country bands, including the Lighthouse Inn San Pablo, which contributed to the City's reputation as a party town. Swing bands were popular among the young shipyard workers. The clubs were often open 24 hours a day to accommodate all three work shifts at the shipyard. The war had changed San Pablo into a suburban city. The last dairy ranchers sold out to giant corporations, and the last farmers divided and sold their land for housing tracts.

Post-wartime, the community settled down to raise families. In the 1950s public works projects paved the streets, added sidewalks and installed streetlights. Playgrounds were opened, a hospital was built, Contra Costa College opened, and shopping centers replaced wartime housing.

Source: Wikipedia Commons (https://commons.wikimedia.org/wiki/File:Welcome_Sign_San_Pablo_California.jpg)



Figure 13-1. City of San Pablo

- Climate**—San Pablo’s climate is characterized by mild, wet winters and warm, dry summers. On average, the warmest month of the year is September (average high temperature of 74° F) and the coolest month is January (average low temperature of 43° F). The average annual high temperature is 66.7°F and the annual average low is 50.5°F. The wettest month of the year is January, with an average rainfall of approximately 4.84 inches. The annual average precipitation is approximately 24.98 inches. (<http://www.usclimatedata.com/climate/sanpablo/california/united-states/usca2087>)
- Governing Body Format**—San Pablo is a General Law City, operating under the Council-Manager form of government. Under this system, the Council establishes the policies under which the City operates and appoints a trained and experienced City Manager to administer the affairs of the City. The City Manager’s responsibilities include hiring of City staff, preparation of the Annual Budget, administration and coordination of the City’s operations, general supervision over all property under the control of the City, and enforcement of City ordinances and applicable State laws.

The City Council is made of five members elected at large to overlapping terms of four years and annually select two of their members to serve as Mayor and Vice Mayor. The Mayor represents the City at community functions, serves as the City’s liaison with other governmental agencies, and serves as the presiding officer at council meetings.

The Council is the legislative body; its members are the community’s decision makers. The Council approves the budget and determines the public services to be provided and the taxes, fees and assessments to pay for these public services. The City Council is responsible for adopting this plan, while the City Manager is responsible for overseeing its implementation.

13.3 DEVELOPMENT TRENDS

The San Pablo General Plan 2030, April 2011, outlines a long-range vision for the physical development in the City. The existing city limits include residential, commercial and industrial developments, as well as public facilities, including parks and schools. San Pablo’s Economic Development Program has short and long-range economic development strategies to encourage the growth of new businesses, attraction of new business,

enhancement of existing businesses as well as the creation and retention of jobs. According to California Department of Finance (CA DOF) estimates, San Pablo had a total of 9,475 housing units as of January 2014, which is only a two percent increase since 2000 when there were 9,307 housing units in San Pablo. Slightly less than half the homes in San Pablo are in single-family detached buildings. Another 16 percent of the households live in large, multi-unit buildings of 20 units or more, while the rest live in smaller multi-unit buildings. The 2015 City of San Pablo Housing Element states three-quarters of the households in San Pablo are families, and 43 percent of the households are families with children, compared to 34 percent in Contra Costa County. San Pablo is largely a residential city, with 5,265 jobs, or one job for every 5.5 residents (<http://www.ci.san-pablo.ca.us/DocumentCenter/View/4936>).

The City has considered the housing needs of seniors, people living with a disability, large families, female-headed households, extremely low income households and persons, homeless people and farmworkers. There are 12 affordable housing developments in San Pablo, in which 7 provide housing for lower income families and 5 provide housing for seniors. In total, including all rental assistance vouchers, there are 901 subsidized households/housing units in San Pablo, which represents 10 percent of the households in the City. Other methods of assistance include (subsidized) rents, handicapped accessible homes, and buildings near public transportation. The City has also conducted an assessment to identify vacant sites for possible housing development.

San Pablo is highly urbanized within its 2.8 square miles planning area. The Land Use and Physical Design Element of the General Plan presents a framework to guide future land use decisions and development approved in San Pablo. This focuses on six distinctive areas of interest: urban form, community design, residential neighborhoods, mixed use, and civic and institutional.

Source: 2010-2012 American Community Survey

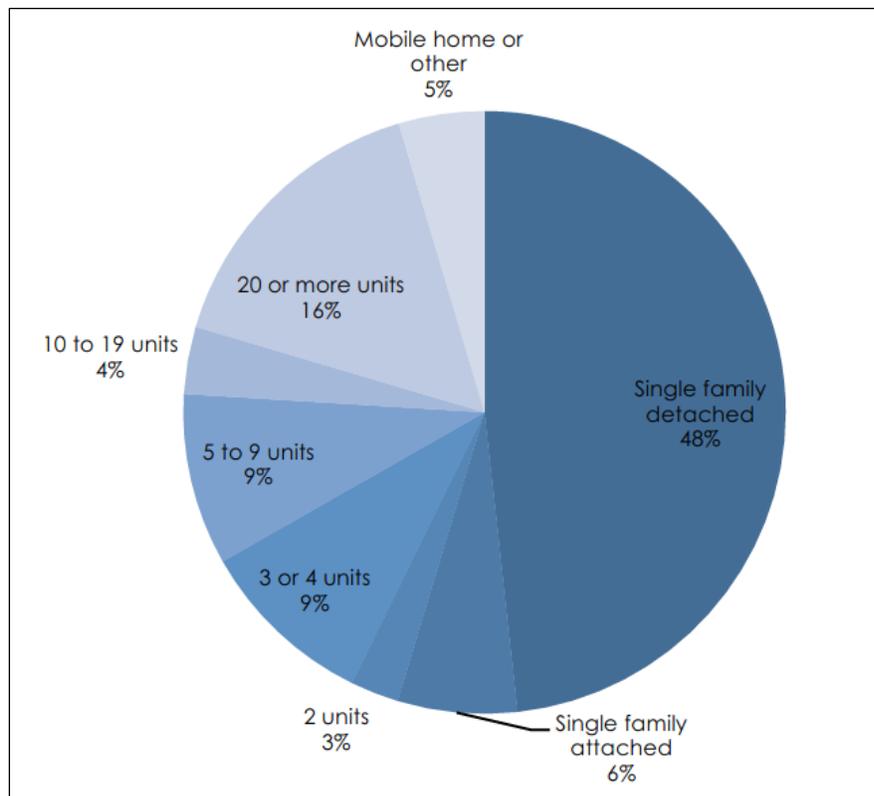


Figure 13-2. Residential Building Types in San Pablo (2012)

Sites for retail development (newly constructed neighborhood shopping center and community trade areas) available in the City include College Center, Princeton Plaza, San Pablo Towne Center, and Plaza Sobrante. Several new restaurants and retail stores have found a home in San Pablo and new projects are in the works.

The Lytton Band of Pomo Indians (Band) operate a casino, inclusive of Class II and Class III gaming defined by the Indian gaming Regulatory Act of 1988, PL 100-497, 24 U.S.C., National Indian Gaming Commission regulations, and the Compact between the City of San Pablo and the Band. In partial consideration for the services and covenants which the City agrees to provide to the Band, the Band agreed to provide a minimum annual municipal services payment and incremental municipal services payment to the City.

According to the City's 2016 Comprehensive Annual Financial Report, the principal employers in the city are:

- Contra Costa College—585 employees
- Creekside Health Care Center—243 employees
- Vale Healthcare Center—169 employees
- Food Maxx—99 employees
- Raley's—82 employees
- Casino San Pablo—500 employees
- City of San Pablo—182 employees
- San Pablo Healthcare Center—153 employees
- Las Mantanas—91 employees
- San Pablo Super Market—84 employees.

Table 13-2 summarizes development trends in the performance period since development of the previous hazard mitigation plan and expected future development trends.

Table 13-2. Recent and Expected Future Development Trends

Criterion	Response					
Has your jurisdiction annexed any land since the development of the previous hazard mitigation plan? • If yes, give the estimated area annexed and estimated number of parcels or structures.	No					
Is your jurisdiction expected to annex any areas during the performance period of this plan? • If yes, please describe land areas and dominant uses. • If yes, who currently has permitting authority over these areas?	No. The City is land locked and surrounded by incorporated jurisdictions. There are no unincorporated areas to annex. The City is urban. Open space and parkland are very limited in San Pablo.					
Are any areas targeted for development or major redevelopment in the next five years? • If yes, please briefly describe, including whether any of the areas are in known hazard risk areas	Yes <ul style="list-style-type: none"> • City Hall Development • Plaza San Pablo Developments • San Pablo Ave. and Rumrill Blvd. Affordable Housing • La Quinta Hotel Inn All of these developments could be considered exposed to seismic and severe weather risks. However, these risk would be mitigated by the influence of building code standards.					
How many building permits for new construction were issued in your jurisdiction since the development of the previous hazard mitigation plan?		2012	2013	2014	2015	2016
	Single Family	1	3	3	2	5
	Multi-Family	0	0	1	1	0
	Other (commercial, mixed use, etc.)	0	0	0	0	0
Please provide the number of permits for each hazard area or provide a qualitative description of where development has occurred.	Other than development regulated by the City's Flood Damage Prevention Ordinance, the City does not track development by hazard zones. The City cites development restrictions on a case-by-case basis.					

13.4 CAPABILITY ASSESSMENT

The City of San Pablo performed an inventory and analysis of existing capabilities, plans, programs and policies that enhance its ability to implement mitigation strategies. The introduction at the beginning of this volume of the hazard mitigation plan describes the components included in the capability assessment and their significance for hazard mitigation planning. This section summarizes the following findings of the assessment:

- An assessment of legal and regulatory capabilities is presented in Table 13-3.
- Development and permitting capabilities are presented in Table 13-4.
- An assessment of fiscal capabilities is presented in Table 13-5.
- An assessment of administrative and technical capabilities is presented in Table 13-6.
- An assessment of education and outreach capabilities is presented in Table 13-7.
- Information on National Flood Insurance Program (NFIP) compliance is presented in Table 13-8.
- Classifications under various community mitigation programs are presented in Table 13-9.
- The community’s adaptive capacity for the impacts of climate change is presented in Table 13-10.

Table 13-3. Legal and Regulatory Capability

	Local Authority	Other Jurisdiction Authority	State Mandated	Integration Opportunity?
Codes, Ordinances, & Requirements				
Building Code <i>Comment: Title 15.04.010 (Ord. 2016-007 § 1 (part), 2016) The California Code, 2016 Edition, including all volumes and appendices.</i>	Yes	No	Yes	No
Zoning Code <i>Comment: Title 17, Ord. 2015-002 § 3 (Exh. 1)(part), 2015</i>	Yes	No	Yes	No
Subdivisions <i>Comment: Title 16, Ord. 05-002 § 1 (part), 2005</i>	Yes	No	No	No
Stormwater Management <i>Comment: Title 8, Chapter 8.40, Ord. 2016-006 § 1 (part), 2016; Ord. 05-001 § 1 (part), 2005</i>	Yes	No	No	No
Post-Disaster Recovery <i>Comment: None Located</i>	No	No	No	No
Real Estate Disclosure <i>Comment: Required for Section 1102 of the CA Civil Code</i>	No	No	Yes	No
Growth Management <i>Comment: San Pablo General Plan 2030 was developed pursuant to CA General Planning Law (Cal. Gov. Code §65300 et seq.) which is intended to manage growth in the State of CA.</i>	No	No	Yes	Yes
Site Plan Review <i>Comment: City has general policy, but no specific code regulating site review requirements.</i>	No	No	No	No
Environmental Protection <i>Comment: The City of San Pablo is dedicated to protecting the environment. The City manages Clean Water, Energy Conservation and Climate Action and Waste and Recycling programs. State of California Public Resources Code 21000-21189.3 has regulated to local governments the requirement to maintain a quality environment for the people in the state now and in the future. The legislature requires all agencies to regulate activities of private individuals, corporations, and itself to protect that environment through project analysis and alternatives using the California Environmental Quality Act (CEQA). The City of San Pablo as the lead agency has the responsibility of project review.</i>	Yes	No	Yes	No
Flood Damage Prevention <i>Comment: Title 15, Chapter 15.28; Ord. 13-002 § 6, 2013</i>	Yes	No	Yes	No
Emergency Management <i>Comment: Title 2, Chapter 36 (Disaster Council), Ord. 646 § 1, 1973</i>	Yes	No	Yes	No

	Local Authority	Other Jurisdiction Authority	State Mandated	Integration Opportunity?
Climate Change	Yes	No	Yes	Yes
<i>Comment: In 2011, the City of San Pablo completed the City's Greenhouse Gas Inventory . The Greenhouse Gas Inventory provided baseline information on the City's emissions. The City has since developed a Climate Action Plan that provides a policy framework to reduce our city's greenhouse gas emissions, while also promoting city improvements to increase livability, health and safety of our community. California SB-379: Land Use: General Plan: Safety Element</i>				
Other:	No	No	No	No
<i>Comment: None identified</i>				
Planning Documents				
General Plan	Yes	No	Yes	Yes
<i>Is the plan compliant with Assembly Bill 2140? No</i>				
<i>Comment: San Pablo General Plan 2030, 2011; Housing Element 2015</i>				
Capital Improvement Plan	Yes	No	No	Yes
<i>How often is the plan updated? 5-year, reviewed annually</i>				
<i>Comment: City of San Pablo Capital Improvement Plan, 2016. Includes roads, drainage, transportation, facilities, lighting</i>				
Floodplain or Watershed Plan	No	No	No	No
<i>Comment: None Located</i>				
Stormwater Plan	Yes	No	No	Yes
<i>Comment: In the process of developing the City's Storm drain Network Development and Modeling Plan. Drainage needs identified by this plan could potentially be identified as hazard mitigation projects for incorporation in to this hazard mitigation plan.</i>				
Urban Water Management Plan	No	Yes	No	Yes
<i>Comment: San Pablo is under the authority of the East Bay Municipal Utility District (EBMUD) Urban Water Management Plan</i>				
Habitat Conservation Plan	No	No	No	No
<i>Comment: None Located</i>				
Economic Development Plan	No	No	No	No
<i>Comment: None Located</i>				
Shoreline Management Plan	No	No	No	No
<i>Comment: No shoreline in San Pablo</i>				
Community Wildfire Protection Plan	No	Yes	No	Yes
<i>Comment: San Pablo is under the authority of the Contra Costa County Community Wildfire Protection Plan.</i>				
Forest Management Plan	No	No	No	No
<i>Comment: None Located</i>				
Climate Action Plan	Yes	No	No	Yes
<i>Comment: City of San Pablo Climate Action Plan, 2012</i>				
Comprehensive Emergency Management Plan	Yes	No	Yes	Yes
<i>Comment: City of San Pablo Comprehensive Emergency Management Plan, October 2012</i>				
Threat & Hazard Identification & Risk Assessment (THIRA)	No	Yes	No	Yes
<i>Comment: The City of San Pablo is part of the Bay Area UASI THIRA.</i>				
Post-Disaster Recovery Plan	No	No	No	Yes
<i>Comment: Comprehensive Emergency Management Plan (CEMP) Recovery Annex</i>				
Continuity of Operations Plan	No	No	No	No
<i>Comment: Continuity of Government in CEMP</i>				
Public Health Plan	No	Yes	No	No
<i>Comment: The City of San Pablo relies upon the Contra Costa County Health Services Department for public health.</i>				
Other:	No	No	No	No
<i>Comment: None Located</i>				

Table 13-4. Development and Permitting Capability

Criterion	Response
Does your jurisdiction issue development permits? • If no, who does? If yes, which department?	Yes The Building Department is responsible for: <ul style="list-style-type: none"> • Reviewing plans prior to construction and legalization • Issuing building, electrical, plumbing, and mechanical permits • Performing field inspections for the Community of San Pablo
Does your jurisdiction have the ability to track permits by hazard area?	No
Does your jurisdiction have a buildable lands inventory? • If yes, please briefly describe. • If no, please quantitatively describe the level of buildout in the jurisdiction.	No N/A 90% to 95% buildout

Table 13-5. Fiscal Capability

Financial Resource	Accessible or Eligible to Use?
Community Development Block Grants	Yes (through Contra Costa County)
Capital Improvements Project Funding	Yes – requires Council action
Authority to Levy Taxes for Specific Purposes	No – City has not adopted this option
User Fees for Water, Sewer, Gas or Electric Service	Yes – PG&E Rule 20A credits
Incur Debt through General Obligation Bonds	No – City has not adopted this option
Incur Debt through Special Tax Bonds	No
Incur Debt through Private Activity Bonds	No
Withhold Public Expenditures in Hazard-Prone Areas	No, City has not deployed this option
State-Sponsored Grant Programs	Yes, CA Flood Safe Initiative, Measure 82 funds
Development Impact Fees for Homebuyers or Developers	No – City has not adopted this option
Other	No

Table 13-6. Administrative and Technical Capability

Staff/Personnel Resource	Available?	Department/Agency/Position
Planners or engineers with knowledge of land development and land management practices	Yes	Development Services Department
Engineers or professionals trained in building or infrastructure construction practices	Yes	Development Services – Building Division / Public Works Dept. - Engineering Division
Planners or engineers with an understanding of natural hazards	Yes	Public Works Department
Staff with training in benefit/cost analysis	Yes	Finance Department
Surveyors	Yes	Public Works Department
Personnel skilled or trained in GIS applications	Yes	Information Technology / Development Services
Scientist familiar with natural hazards in local area	No	Public Works Dept. consultants
Emergency Manager	Yes	Police Department
Grant writers	Yes	All departments that apply for grants
Other	No	

Table 13-7. Education and Outreach Capability

Criterion	Response
Do you have a Public Information Officer or Communications Office?	Yes – the City Manager serves as the primary public outreach representative for the City. The Police Department and Contra Costa Fire Protection District also have Public Information Officers.
Do you have personnel skilled or trained in website development?	Yes, contract consultant
Do you have hazard mitigation information available on your website? • If yes, please briefly describe.	Yes The Public Works Department hosts a page devoted to flood preparedness and mitigation as part of its participating the CRS program. Additionally, the City maintained a link on the City page linking to the 2017 HMP Project Website.
Do you utilize social media for hazard mitigation education and outreach? • If yes, please briefly describe.	Yes The City has Twitter, Facebook, and Nextdoor. The Police Department has Twitter, Facebook, and Instagram.
Do you have any citizen boards or commissions that address issues related to hazard mitigation? • If yes, please briefly describe.	Yes Planning Commission, Safety Commission
Do you have any other programs already in place that could be used to communicate hazard-related information? • If yes, please briefly describe.	Yes Community Emergency Response Team, Neighborhood Watch, Neighborhood Engagement Team, E-newsletter Subscription, and a City Council social media professional services provider.
Do you have any established warning systems for hazard events? • If yes, please briefly describe.	Yes Community Warning System (Contra Costa County) The City Manager serves as the primary public outreach representative for the City. The Police Department and Contra Costa Fire Protection District also have Public Information Officers.

Table 13-8. National Flood Insurance Program Compliance

Criterion	Response
What local department is responsible for floodplain management?	Development Services - Building Division / Public Works Department
Who is your floodplain administrator? (department/position)	Development Services - Building Division / Chief Building Inspector. Contract Building Official
Are any certified floodplain managers on staff in your jurisdiction?	Yes. Contractor has CFM's on Staff.
What is the date that your flood damage prevention ordinance was last amended?	1987, updated 2013
Does your floodplain management program meet or exceed minimum requirements? • If exceeds, in what ways?	Meets N/A
When was the most recent Community Assistance Visit or Community Assistance Contact?	September 22, 2016
Does your jurisdiction have any outstanding NFIP compliance violations that need to be addressed? • If so, please state what they are.	No N/A
Do your flood hazard maps adequately address the flood risk within your jurisdiction? • If no, please state why.	No Does not accurately reflect urban drainage flood problems. City is in the process of developing a Storm drain Network Development and Modeling Plan
Does your floodplain management staff need any assistance or training to support its floodplain management program? • If so, what type of assistance/training is needed?	Yes Floodplain administration, public education and outreach, CFM training
Does your jurisdiction participate in the Community Rating System (CRS)? • If yes, is your jurisdiction interested in improving CRS Classification? • Is your jurisdiction interested in joining the CRS program?	Yes (currently class 8) Yes, depending upon resources needed N/A
How many flood insurance policies are in force in your jurisdiction? ^a • What is the insurance in force? • What is the premium in force?	334 \$83,730,400 \$436,894
How many total loss claims have been filed in your jurisdiction? ^a • How many claims are still open/were closed without payment? • What were the total payments for losses?	66 0/22 \$467,444

a. According to FEMA statistics as of January 31, 2017

Table 13-9. Community Classifications

	Participating?	Classification	Date Classified
Community Rating System	Yes	8	10/01/2013
Building Code Effectiveness Grading Schedule	Yes	3	01/29/2013
Public Protection	Yes ^a	3/9	Unknown
Storm Ready	No	N/A	N/A
Firewise	No	N/A	N/A

a. The City of San Pablo is part of the Contra Costa Consolidated Fire District

Table 13-10. Adaptive Capacity for Climate Change

Criterion	Jurisdiction Rating ^a
Technical Capacity	
Jurisdiction-level understanding of potential climate change impacts	High
<i>Comment:</i> In 2009, the San Pablo City Council supported local, regional, and state initiatives designed to address the major sources of pollution by passing Resolution 2009-063, which laid the groundwork for developing a Climate Action Plan (CAP). City staff have since worked on developing a local greenhouse gas emissions inventory, emission forecasts and reduction measures to meet established pollution reduction goals.	
Jurisdiction-level monitoring of climate change impacts	High
<i>Comment:</i> The City monitors and reports on the performance of strategies for implementation over time. Each measure has been assigned a metric of success to be tracked throughout the full length of implementation in order to ensure that residents, business owners and the City are seeing the expected results	
Technical resources to assess proposed strategies for feasibility and externalities	High
<i>Comment:</i> Strategic Energy Innovation (SEI) consultants provided guidance in the development of the GHG forecast and the quantification of the GHG reduction measures in the CAP. In addition, beginning in 2010, the City of San Pablo participated in an AmeriCorps National Service program, Climate Corps Bay Area (CCBA). CCBA is an 11 month program that matches non-profit and local government partners with CCBA members to address climate change mitigation strategies. At the City, these members have been involved in the research, quantification and analysis of the City's past GHG emissions, existing efficiency strategies and proposed reduction measures through an extensive job training component.	
Jurisdiction-level capacity for development of greenhouse gas emissions inventory	High
<i>Comment:</i> An inventory was conducted of the GHG 2005 base year to 2007 interim period. The CAP is the overarching plan to update the inventory, forecast, and reduce local GHG emissions.	
Capital planning and land use decisions informed by potential climate impacts	Medium
<i>Comment:</i> The Transportation and Land Use measures address existing land uses throughout the City with the hope of increasing the availability of services to meet resident's everyday needs. In addition, these measures encourage the use of alternative modes of transportation, walking, biking, and carpools to reduce vehicle miles traveled.	
Participation in regional groups addressing climate risks	High
<i>Comment:</i> The CAP was developed through strong collaboration between City staff, SEI, members of the Small Cities Climate Action Partnership (SCCAP) and CCBA members. The SCCAP is a collaborative effort between the cities of El Cerrito, Albany, Piedmont and San Pablo, with consultation from SEI, and is funded by a grant from the Environmental Protection Agency (EPA).	
Implementation Capacity	
Clear authority/mandate to consider climate change impacts during public decision-making processes	High
<i>Comment:</i> In 2009, the San Pablo City Council showed its support for local, regional and state initiatives designed to address the major sources of pollution by passing Resolution 2009-063, which laid the groundwork for developing a CAP. The CAP is a Council approved policy-planning document which outlines a course of action for the City of San Pablo to reduce GHG emissions to 15% below 2005 levels by 2020 and 30% below 2005 levels by 2035, as recommended by Assembly Bill 32 (AB 32).	
Identified strategies for greenhouse gas mitigation efforts	High
<i>Comment:</i> The CAP provides municipal measures and strategies for energy use reduction in the building, streetlight, waste, transportation, and land use sectors. Purchasing and education and outreach measures were also developed.	
Identified strategies for adaptation to impacts	Medium
<i>Comment:</i> The CAP has identified strategies for adaptation to impact and is a call for action that will help avert these worst case scenarios and ensure resiliency in the face of the impacts as water supplies, flood control measures and shorelines change.	
Champions for climate action in local government departments	High
<i>Comment:</i> None provided	
Political support for implementing climate change adaptation strategies	Medium
<i>Comment:</i> The San Pablo City Council showed its support for local, regional and state initiatives designed to address the major sources of pollution by passing Resolution 2009-063 which supports adaptation strategies for climate change.	

Criterion	Jurisdiction Rating ^a
Financial resources devoted to climate change adaptation	Medium
<i>Comment: The City developed a reinvestment mechanism which accounts for budgetary constraints by developing a steady resource devoted to energy efficiency and other environmental programs. Energy Upgrade California, PG&E's residential rebates and the Contra Costa County Weatherization program provide residents with financial incentives to reduce their energy use. In 2011 implemented a 4-day work week and a lights-out policy at night at City facilities which significantly reduces the City's energy use (14%) while providing additional financial benefits. PG&E provides financial assistance to income-qualified renters and home- owners interested in pursuing energy efficiency programs through their Energy Savings Assistance Program.</i>	
Local authority over sectors likely to be negative impacted	Medium
<i>Comment: The local authority is limited. For example: the transportation sector, which makes up 60% of emissions, included traffic on local roads, major thoroughfares such as San Pablo Avenue and the portion of I-80 Freeway which runs through the city. San Pablo does not have authority over the I-80 Freeway, even though it runs through the city. Other sectors where the City has limited authority include solid waste, wastewater, and water.</i>	
Public Capacity	
Local residents knowledge of and understanding of climate risk	Medium
<i>Comment: Through a series of outreach measures (booths at events, online surveys, public meetings and presentations), staff collected feedback from the San Pablo community on GHG reduction priorities, proposed measures and implementation strategies.</i>	
Local residents support of adaptation efforts	Low
<i>Comment: From April 2010 through April 2012, the City administered a communitywide online survey distributed at citywide events, on the website, and included in the City's quarterly newsletter and the City Manger's weekly e-newsletter; held a community workshop to present progress on the CAP; surveyed participants at the 2012 Cinco de Mayo parade; received feedback from San Pablo residents at the Middle College Earth Day & Family Fun Day; and presented specific elements of the CAP at San Pablo's Senior Center. Overall, 128 citizens presented specific feedback on implementation strategies and timelines.</i>	
Local residents' capacity to adapt to climate impacts	Low
<i>Comment: Ease of implementation of the CAP will depend on active participation from residents and business owners and may require collaboration with community leaders and groups.</i>	
Local economy current capacity to adapt to climate impacts	Medium
<i>Comment: San Pablo has a diverse, yet limited economy due to its size (2.8 square miles). When comparing the relative strength of industries in San Pablo, and comparing these industries to data from larger geographical entities, San Pablo has competitive advantages in the transportation, warehousing, and utilities sector and the arts, recreation, and other services (gaming) sector.</i>	
Local ecosystems capacity to adapt to climate impacts	Medium
<i>Comment: As annual temperatures continue to rise, the Sierra Nevada snowpack will decrease, putting stress on California's water supply. Periods of drought and high temperatures will affect local ecosystems, lead to increases in wildfire and threaten at-risk members of the San Pablo community.</i>	

- a. High = The capacity exists and is in use; Medium = The capacity may exist, but is not used or could use some improvement; Low = Capacity does not exist or could use substantial improvement; Unsure= Not enough information is known to assign a rating.

13.5 INTEGRATION WITH OTHER PLANNING INITIATIVES

The information on hazards, risk, vulnerability and mitigation contained in this hazard mitigation plan is based on the best available data. Plan integration is the incorporation of this information into other relevant planning mechanisms, such as general planning and capital facilities planning. It includes the integration of natural hazard information and mitigation policies, principles and actions into local planning mechanisms and vice versa. Additionally, plan integration is achieved through the involvement of key staff and community officials in collaboratively planning for hazard mitigation.

13.5.1 Existing Integration

In the performance period since adoption of the previous hazard mitigation plan, the City of San Pablo made progress on integrating hazard mitigation goals, objectives and actions into other planning initiatives. The following plans and programs currently integrate components of the hazard mitigation strategy:

- The General Plan, building code, and zoning ordinance incorporate information on hazard risk and guide development within the City of San Pablo.
- Ongoing public outreach and education is conducted on natural hazard risk, particularly for the flood hazard as part of the City’s participation in the CRS program.
- Information on flood risk has been improved by conducting studies and surveys of “hot spots” to help develop City projects and improve efficiency in the storm drain maintenance plan.
- The City of San Pablo coordinates with other Public Utility Agencies to gain knowledge from each agency’s projects and new system developments to better prepare in an event of a flood.
- The City has storm drain systems (pipes, ditches, swales, etc.) maintenance program designed to ensure maximum capacity and avoid flooding.
- The City is a participant in the regional San Pablo Ave. SMART corridors and I-80 Integrated Corridor Mobility (ICM) projects, managed by Alameda County Transportation Commission (CMA), would coordinate with the Caltrans staff at Regional Traffic Management Center (TMC) in the event of a disaster.
- City staff provides information to real estate agents and property owners regarding questions related flood, fire, earthquake, and landslide hazard zones.
- The City requires drainage plan review for property improvements and appropriate fees are collected.
- Information on sandbag locations is provided in the City newsletter to residents as well as the City website.
- The Police Department sponsors the formation and training of Community Emergency Response Teams and educates the community through the Police Citizens Academy.
- The City is covered under the Contra Costa County Community Warning System that is fully explained at the following website: <http://www.co.contracosta.ca.us/index.aspx?nid=161>
- Projects within the City of San Pablo are required, through the Planning review process and CEQA, to analyze potential environmental impacts and mitigate any impacts.
- The City ensures that erosion and stormwater control measures are in place for construction activities prior to and during wet weather.
- The City annually inspects and documents construction sites prior to the rainy season. Additionally, site visits are regularly conducted during the rainy season.
- Due to the geologic formation of the area, geotechnical reports are required for new home construction, most remodels, and new development projects.

Resources listed in Section 13.11 were used to provide information for this annex on hazard events and local capabilities within the jurisdiction.

13.5.2 Opportunities for Future Integration

As this hazard mitigation plan is implemented, the City of San Pablo will use information from the plan as the best available science and data on natural hazards. The capability assessment presented in this annex identifies codes, plans and programs that provide opportunities for integration. The area-wide and local action plans developed for this hazard mitigation plan in actions related to plan integration, and progress on these actions will be reported through the progress reporting process described in Volume 1. New opportunities for integration also will be identified as part of the annual progress report. The capability assessment identified the following plans

and programs that do not currently integrate goals or recommendations of the hazard mitigation plan but provide opportunities to do so in the future:

- **City of San Pablo General Plan**—Future updated to the City’s general plan pursuant to the requirements of CA SB379.
- **Community Rating System (CRS) program**—The City will request for this hazard mitigation plan under future CRS program verification audits and is committed to maintaining this plan pursuant to the plan maintenance strategy identified in Chapter 19 of Volume 1.
- **Climate Action Planning**—Future updates to the City’s Climate Action Plan will look to the Hazard Mitigation plan for appropriate information on risk associated with natural hazards to inform climate action policies and programs.
- **Storm-Drain Network Development and Modeling Plan** —Upon its completion, grant eligible projects identified by this plan will be incorporated in to the hazard mitigation plan via the plan maintenance protocol identified in Chapter 19 of Volume 1.

13.6 JURISDICTION-SPECIFIC NATURAL HAZARD EVENT HISTORY

Table 13-11 lists past occurrences of natural hazards for which specific damage was recorded in the City of San Pablo. Other hazard events that broadly affected the entire planning area, including the City of San Pablo, are listed in the risk assessments in Volume 1 of this hazard mitigation plan.

Table 13-11. Past Natural Hazard Events

Type of Event	FEMA Disaster # (if applicable)	Date	Narrative
Severe Winter Storms, Flooding, Mudslides	DR-4308	4/1/2017	Like all Cities in the San Francisco Bay Area, San Pablo was impacted by events that triggered this disaster declaration.
Severe Winter Storms, Flooding, and Mudslides	DR-4305	3/16/2017	Like all Cities in the San Francisco Bay Area, San Pablo was impacted by events that triggered this disaster declaration.
Severe Storms, Flooding, and Mudslides	DR-4301	2/14/2017	Like all Cities in the San Francisco Bay Area, San Pablo was impacted by events that triggered this disaster declaration.
Drought	N/A	2012-2016	Like Most cities in the State of CA, San Pablo was impacted by the latest drought to impact the State from 2012-2016.
Landslide (William St./Hillcrest Road)	N/A	03/2011	Four families were displaced from their homes with no deaths or injuries. The San Pablo City Council declared it to be a local emergency.
Flood (Wildcat Creek and San Pablo Creek Area, 50-year storm)	N/A	12/2005	The San Pablo City Council declared a local emergency and received FEMA and NRCS grant money for creek bank repair.

13.7 JURISDICTION-SPECIFIC VULNERABILITIES

Volume 1 of this hazard mitigation plan provides complete risk assessments for each identified hazard of concern. This section provides information on a few key vulnerabilities for the jurisdiction.

Repetitive loss records are as follows:

- Number of FEMA-identified Repetitive-Loss Properties: 6
- Number of FEMA-identified Severe-Repetitive-Loss Properties: 0
- Number of Repetitive-Loss Properties or Severe-Repetitive-Loss Properties that have been mitigated: Unknown

Other noted vulnerabilities include the following:

- The North Hayward Fault Zone passes directly underneath the eastern portion of the City and is considered a high earthquake hazard as any large movements would cause ground shaking and surface rupture in the area.
- If a magnitude 7.5 earthquake occurred on the Hayward fault, a 2007 study predicts that the San Pablo Dam would slump and decrease in height, allowing water to flow over the top, resulting in flooding downstream. If such disaster occurs, 51 miles of roadway and almost all schools and government buildings in the city will be inundated, per East Bay Municipal Utility District (EBMUD) and EBMUD Summit Reservoir Replacement Project reports.
- Landslides in San Pablo are primarily located near the upland areas, along the creeks, and in the hillier northern part of the City. Sloping areas with greater than 30 degree gradient on both sides of San Pablo Dam Road east of the I-80 freeway are especially prone to land sliding.
- An estimated 9 percent of the population resides in special flood hazard areas; however almost 19 percent of the population is estimated to reside in the 0.2 percent-annual-chance flood hazard area. Flood insurance mandates generally only apply to the special flood hazard area.

13.8 HAZARD RISK RANKING

Table 13-12 presents a local ranking for the City of San Pablo of all hazards of concern for which Volume 1 of this hazard mitigation plan provides complete risk assessments. This ranking summarizes how hazards vary for this jurisdiction. As described in detail in Volume 1, the ranking process involves an assessment of the likelihood of occurrence for each hazard, along with its potential impacts on people, property and the economy.

Table 13-12. Hazard Risk Ranking

Rank	Hazard Type	Risk Rating Score (Probability x Impact)	Category
1	Earthquake ^b	54	High
2	Dam and levee failure ^a	36	High
3	Severe weather	30	Medium
3	Landslide ^e	30	Medium
4	Flood ^c	18	Medium
5	Drought	9	Low
6	Wildfire ^{e, f}	6	Low
7	Sea level rise ^d	0	None
7	Tsunami	0	None

- Based on the level of detail conducted in the risk assessment, the risk ranking for this hazard is focused solely on dam failure impacts. See Chapter 6.4 of Volume 1 for combined dam inundation list on which this assessment is based. Failure is assigned a medium probability of occurrence as a secondary impact from earthquake.
- "Haywired" M7.05 event was used to assign probability and impacts
- 1-percent annual chance event was used to assign probability and impacts
- 2100 upper range estimates and extreme tide are used to assign probability and impacts
- Very High and High severity zones were used to assign probability and impacts
- There is no mapped risk within the city, but a score was given due to potential smoke impacts on people and the economy

13.9 STATUS OF PREVIOUS PLAN ACTIONS

Table 13-13 summarizes the actions that were recommended and provided with detailed implementation information, such as responsible agency and timeline for implementation, in the previous version of the hazard mitigation plan, and includes the implementation status of those actions at the time this update was prepared.

Table 13-13. Status of Previous Plan Actions

Action Item	Completed	Removed; No Longer Feasible	Carried Over to Plan Update	
			Check if Yes	Enter Action #
<p>Infra a-11 and a-12—Increase public safety, communication and power back-up.</p> <p><i>Comment: This action is now covered by objective# 1, Increase resilience of infrastructure and critical facilities.</i></p>		✓		
<p>Infra d-1, d-4, d-5, d-6, d-7, d-8, d-9, d-16 and d-17—Reduce flooding hazard and ensure the safety of potable drinking water.</p> <p><i>Comment: This action is now covered by objectives #1 (Increase resilience of infrastructure and critical facilities) and #10 (Provide/Improve flood protection with flood control structures, and drainage maintenance plans)</i></p>		✓		
<p>Heal a-1—Increased public safety during a seismic event.</p> <p><i>Comment: This action is now covered by objective # 3; Inform the public on the risk from hazards of concern and increase awareness, preparation, mitigation, response, and recovery activities to promote public safety.</i></p>		✓		
<p>Infr b-1—Maintain a primary emergency response route during a seismic event. Retrofit of seismically-deficient city- and county-owned bridges and road structures.</p> <p><i>Comment: This action is now covered by objectives #1 (Increase resilience of infrastructure and critical facilities), #2 (Sustain reliable local emergency operations and facilities during and after a disaster) and #13 (Eliminate or minimize disruption of local government operations caused by known hazards).</i></p>		✓		
<p>Infr a-10—Improved the visibility and safety of pedestrian path of travel to serve as an effective evacuation path in an event of an emergency.</p> <ul style="list-style-type: none"> - Citywide Traffic Calming Measures (PW 507) – Traffic & street improvements. - 23rd Street Traffic Calming (PW 548) - Church Lane Bridge Widening at San Pablo Creek (HBRR, PW 341) - I-80/San Pablo Dam Rd. Interchange (PW 483) <p><i>Comment: The Public Works (PW) actions identified are considered to be complete as of this plan update process and will not be carried over to this plan.</i></p>	✓			

13.10 HAZARD MITIGATION ACTION PLAN AND EVALUATION OF RECOMMENDED ACTIONS

Table 13-14 lists the actions that make up the City of San Pablo hazard mitigation action plan. Table 13-15 identifies the priority for each action. Table 13-16 summarizes the mitigation actions by hazard of concern and mitigation type.

Table 13-14. Hazard Mitigation Action Plan Matrix

Applies to new or existing assets	Hazards Mitigated	Objectives Met	Responsible Agency ^a	Estimated Cost	Sources of Funding	Timeline
SP-1— Where appropriate, support retrofitting or relocation of structures in high hazard areas, prioritizing structures that have experienced repetitive losses.						
Existing	All Hazards	1, 4, 7, 9, 12, 14, 15, 17	Engineering, *Development Services	High	HMGP, PDM, FMA	Short-term
SP-2— Integrate the hazard mitigation plan into other plans, ordinances and programs that dictate land use decisions in the community, including the City of San Pablo General Plan and Climate Action Plan.						
New and Existing	All Hazards	1, 4, 5, 7, 11, 12, 14, 17	Development Services	Low	Staff Time, General Funds	Ongoing
SP-3— Actively participate in the plan maintenance protocols outlined in Volume 1 of this hazard mitigation plan.						
New and Existing	All Hazards	3, 8, 16	All City departments	Low	Staff Time, General Funds	Short-term
SP-4— Continue to maintain good standing and compliance under the NFIP through implementation of floodplain management programs that, at a minimum, meet the NFIP requirements:						
<ul style="list-style-type: none"> Enforce the flood damage prevention ordinance. Participate in floodplain identification and mapping updates. Provide public assistance/information on floodplain requirements and impacts. 						
New and Existing	Flood	3, 5, 6, 9, 10, 11, 15	Development Services - Building /Public Works	Low	Staff Time, General Funds	Ongoing
SP-5— Through the ongoing implementation of the City's 4-year work plan that is part of its Capital Improvements Program (CIP), identify feasible and cost-effective projects that are eligible for funding under FEMA's Hazard Mitigation Assistance (HMA) suite of grant programs and pursue funding for those projects.						
New and Existing	All Hazards	1,7,10,13,15	Public Works-Engineering	High	FEMA HMA Grant Funding, CIP for local match	Short-term
SP-6— Develop a Debris management plan for all hazards of concern that will easily integrate in to future updates to the hazard mitigation plan.						
Existing	All Hazards	2,6,13,17,18	Development Services/Public Works	Medium	General Funds, HMA grants, EPA Grants	Short-term
SP-7— Acquire the current Corporation Year that is both seismically vulnerable and subject to flooding and dam failure inundation, and restore the vacated parcel to a connected open space use.						
Existing	Dam Failure, Flood and Earthquake	1,2,15,17	Public Works, Development Services	High	FEMA HMA grants, General funds for local match.	Long-term
SP-8— Complete the Storm-Drain Network Development and Modeling Plan which will include a drainage system needs assessment. Once the needs have been identified, package projects that would be eligible for FEMA grant funding and prioritize projects for the pursuit of FEMA HMA grant funding when those opportunities arise. These projects would be above and beyond those targeted under action SP-5.						
New and Existing	Urban drainage -Flood	1,7,10,13,15	Public Works-Engineering	High	FEMA HMA Grant Funding, CIP for local match	Short-term
SP-9— Update the City's Comprehensive Emergency Management Plan (CEMP) such that it is consistent with the risk assessment of the hazard mitigation plan						
New and Existing	All hazards	2,6,13,16	Police Department	Medium	EMPG, Bay Area UWASI, General Funds	Short-term

Applies to new or existing assets	Hazards Mitigated	Objectives Met	Responsible Agency ^a	Estimated Cost	Sources of Funding	Timeline
SP-10 — Strengthen the City zoning ordinance to manage landslide risk with the creation of a Hillside Zoning Overlay District that would include standards/policies to reduce vulnerability from landslides/earth movement.						
New	Landslide	3,4,5,6,7,11, 12	Development Services	Low	General Funds	Short-term
SP-11 —Geographic Information System (GIS) data consolidation initiative. Integrate a consolidated GIS data package that includes the best available data and science on risk from natural hazards into all city departments GIS capabilities. This initiative could be expanded to a county-wide initiative leveraging the partnership created through the development of this multi-jurisdictional hazard mitigation plan.						
New and Existing	All Hazards	3,6,12,16	Information Technology Division	Medium	HMGP (possible 5% initiative), General Funds	Short-term
SP-12 —Prepare and conduct a disaster planning for small business workshop utilizing the information on risk and vulnerability contained in this plan.						
New and Existing	All Hazards	3,6,16	Public Works-Engineering	Low	General Funds	Short-term
SP-13 —Consider the acquisition and use of drone technology with Light Imaging Detection and Ranging (LiDAR) capability to monitor hillside geomorphology during the wet weather season to monitor landslide conditions.						
New and Existing	Landslide	3,6,12,16	Public Works-Engineering	High	HMGP (possible 5% initiative), General Funds	Long-term
SP-14 —Consider the deployment of a data backup initiative such as “Rack Space” to backup and store critical data offsite.						
New and Existing	All Hazards	3,6,12,16	Information Technology Division	Medium	HMGP (possible 5% initiative), General Funds	Short-term
SP-15 —Develop Disaster Documentation Program: to include tracking disasters affecting San Pablo, and tracking via photos, high water marks or other perishable data and damage incurred during and after disaster events. This data can be used for tracking and trending, and ultimately mitigation planning.						
New	All Hazards	3,6,12,16	All City Departments	Low	General Funds	Short-term
SP-16 —Continue the City’s participation in the Community Rating System (CRS) program						
New and Existing	Flood	3, 5, 6, 9, 10, 11, 15	Building Department/Public Works	Low	Staff Time, General Funds	Ongoing
SP-17 —Where appropriate, install green infrastructures (bio-swales) within the public right of way and City owned parcels that are adjacent to vulnerable water courses to filter and reduce storm drain runoff to prevent creek bank erosion and flooding.						
New and Existing	Flood	9, 17, 18	Public Works	Low	California Natural Resources Agency, EPA, HMGP (possible 5% initiative), General Fund.	Long-term
SP-18 —Develop or expand open space uses (such as pedestrian trails) adjacent to vulnerable water courses where feasible and cost-effective.						
New and Existing	Flood	5, 9, 17	Public Works	Low	HMGP (possible 5% initiative), General Fund	Long-term
SP-19 — Identify and track capital project needs that have not been identified through the City’s current capital improvement program for possible grant funding, based on damage following hazard events.						
New and Existing	All Hazards	1, 15	Public Works	Medium	HMGP (possible 5% initiative), General Fund	Long-term

a. Where multiple responsible agencies are listed, an asterisk (*) identifies the lead agency.

Table 13-15. Mitigation Action Priority

Action #	# of Objectives Met	Benefits	Costs	Do Benefits Equal or Exceed Costs?	Is Project Grant-Eligible?	Can Project Be Funded Under Existing Programs/Budgets?	Implementation Priority ^a	Grant Pursuit Priority ^a
SP-1	8	High	High	Yes	Yes	No	Medium	High
SP-2	8	Medium	Low	Yes	No	Yes	High	Low
SP-3	3	Low	Low	Yes	No	Yes	High	Low
SP-4	7	Medium	Low	Yes	No	Yes	High	Low
SP-5	5	High	High	Yes	Yes	Yes	High	High
SP-6	5	Medium	Medium	Yes	Yes	No	Medium	High
SP-7	4	High	High	Yes	Yes	No	Medium	High
SP-8	5	High	High	Yes	Yes	No	Medium	High
SP-9	4	Medium	Medium	Yes	Yes	Yes	High	High
SP-10	7	Medium	Low	Yes	No	Yes	High	N/A
SP-11	4	Medium	Medium	Yes	Maybe	No	Medium	Medium
SP-12	3	Medium	Low	Yes	No	Yes	High	N/A
SP-13	4	High	High	Yes	Maybe	No	Medium	Medium
SP-14	4	Medium	Medium	Yes	Maybe	No	Medium	Medium
SP-15	4	Medium	Low	Yes	No	Yes	High	N/A
SP-16	7	Medium	Low	Yes	No	Yes	High	N/A
SP-17	3	Medium	Low	Yes	Yes	Yes	High	High
SP-18	3	Medium	Low	Yes	Yes	Yes	High	High
SP-19	2	Medium	Medium	Yes	Yes	No	Medium	High

a. See the introduction to this volume for explanation of priorities.

Table 13-16. Analysis of Mitigation Actions

Hazard Type	Action Addressing Hazard, by Mitigation Type ^a							
	Prevention	Property Protection	Public Education and Awareness	Natural Resource Protection	Emergency Services	Structural Projects	Climate Resilient	Community Capacity Building
All hazards	SP-2, SP-3, SP-6, SP-11, SP-14, SP-15	SP-1, SP-19	SP-11, SP-12, SP-15	SP-6	SP-6, SP-9	SP-5, SP-19		SP-6, SP-11, SP-12, SP-14, SP-15
Dam and Levee failure		SP-7		SP-7			SP-7	
Drought								
Earthquake		SP-7		SP-7			SP-7	
Flood	SP-4, SP-16, SP-18	SP-4, SP-7, SP-16	SP-4, SP-16	SP-7, SP-16, SP-17, SP-18	SP-16	SP-8, SP-16	SP-4, SP-7, SP-16, SP-17	SP-16
Landslide	SP-10, SP-13						SP-10	
Severe weather								
Tsunami	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Wildfire								

a. See the introduction to this volume for explanation of mitigation types.

13.11 REVIEW AND INCORPORATION OF RESOURCES FOR THIS ANNEX

The following technical reports, plans, and regulatory mechanisms were reviewed to provide information for this annex.

- **City of San Pablo Municipal Code**—The municipal code was reviewed for the full capability assessment and for identifying opportunities for action plan integration.
- **City of San Pablo Flood Damage Prevention Ordinance**—The flood damage prevention ordinance was reviewed for compliance with the National Flood Insurance Program.
- **Flood Manual Plan**—The Annual Flood Management Plan and Stormwater Drainage Ordinance (Municipal Code Chapter 13.04) was reviewed for compliance with the National Flood Insurance Program.
- **San Pablo General Plan 2030 Volume I: General Plan Policies**—The General Plan, including the Housing, Land Use and Physical Design, Circulation, Conservation, Economic Development, Open Space and Conservation, and Safety and Noise Elements were reviewed for information regarding goals and policies consistent with hazard mitigation for carry over as goals and objectives.
- **Capital Improvement Plan**—The Capital Improvement Plan was reviewed to identify cross-planning initiatives for inclusion as mitigation projects.
 - Yuba Ave. Drainage Diversion Project (YUB-DRN)
 - Replace Drain Pipe Under Hillcrest Road (HIL-DRN)
 - Subdrain Inspection/Cleaning by Princeton Plaza (PPZ-SDR)
 - Monitor/Replace Hydraulers by Princeton Plaza (PPZ-HYD)
 - Randy Lane Drainage Relocation (RLN-DRN)
- **Hazard Mitigation Plan Annex Development Tool-kit**—The tool-kit was used to support the development of this annex including past hazard events, noted vulnerabilities, risk ranking and action development.

The City of San Pablo

Critical Facilities

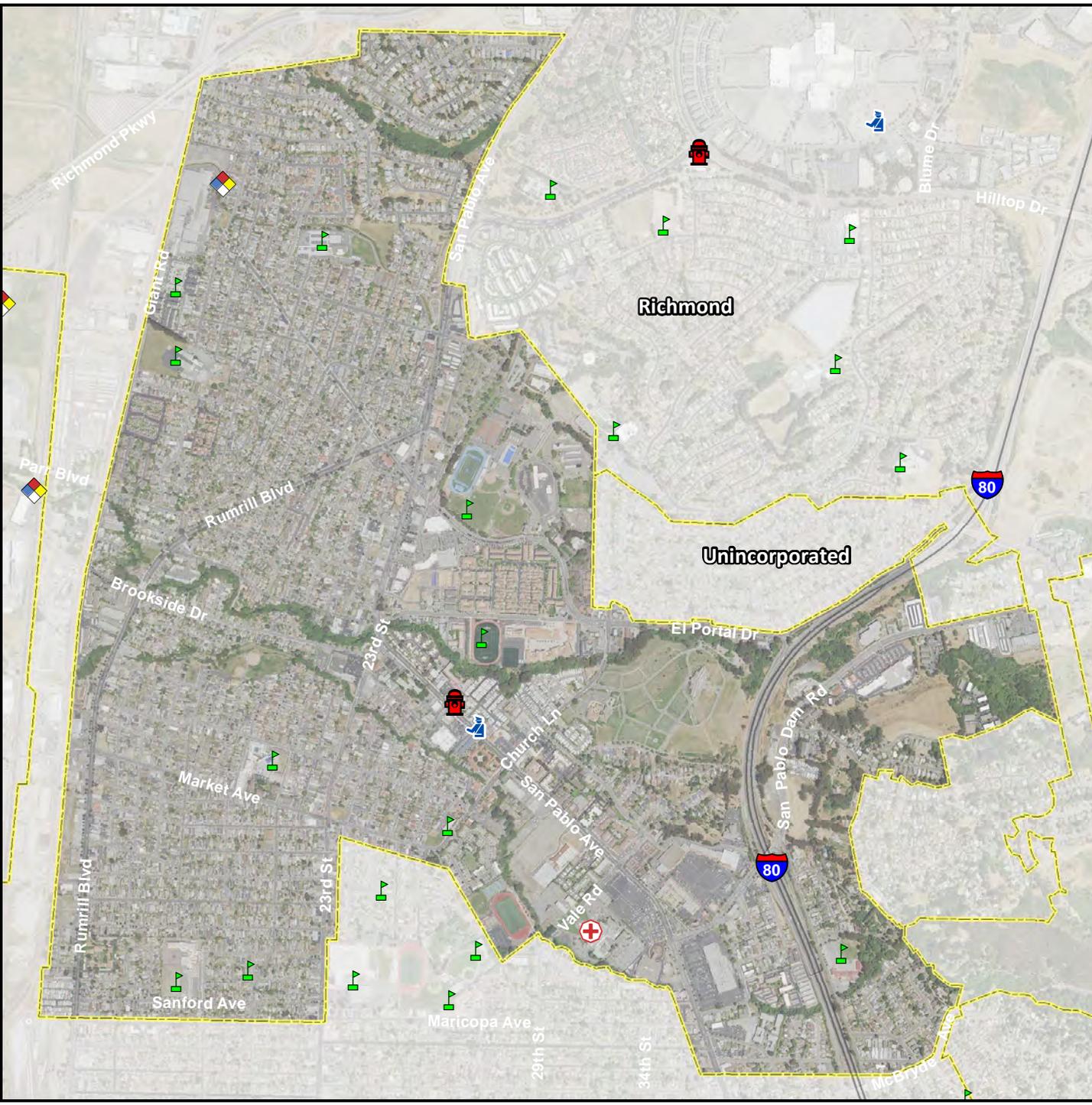
-  Emergency Operations Centers (Government)
-  Fire Stations (Protective Functions)
-  Hazardous Materials
-  Medical Facilities
-  Police Stations (Protective Functions)
-  Schools & Educational Facilities
-  Contra Costa County Boundary
-  City Boundaries



Miles

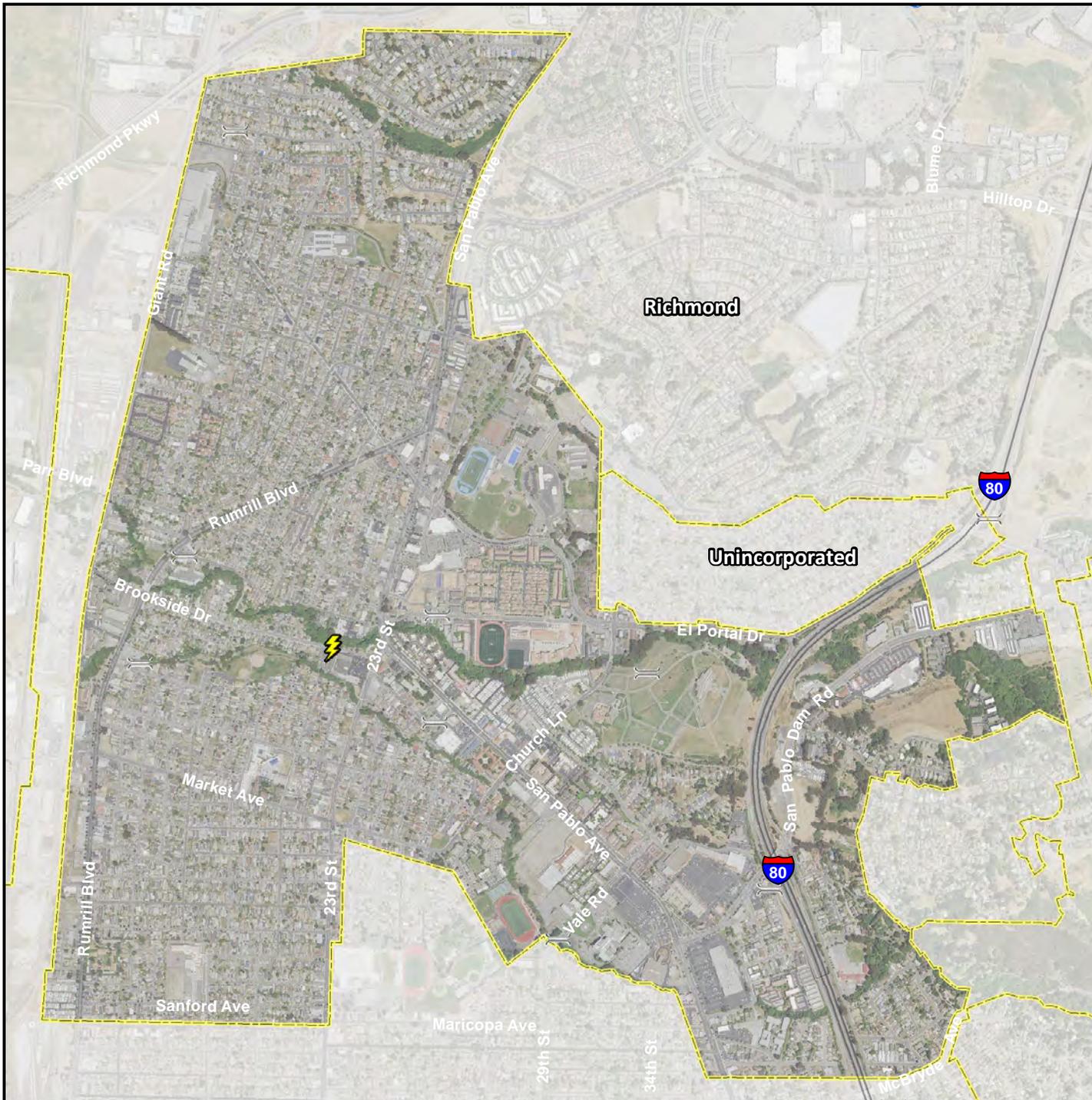


Map Data Sources: Contra Costa County, CalTrans, Hazus 3.2, EPA, USDA



The City of San Pablo

Critical Infrastructure



- Airports (Other Critical Functions)
- Bus Facilities (Other Infrastructure)
- Communication Facilities
- Electric Power Facilities
- Highway Bridges
- Highway Tunnels (Other Infrastructure)
- Light Rail (Other Infrastructure)
- Natural Gas (Other Infrastructure)
- Port Facilities (Other Critical Functions)
- Water Supply Facilities
- Rail Facilities (Other Infrastructure)
- Wastewater Facilities
- Contra Costa County Boundary
- City Boundaries



Map Data Sources: Contra Costa County, CalTrans, Hazus 3.2, EPA, USDA

The City of San Pablo

Liquefaction Susceptibility

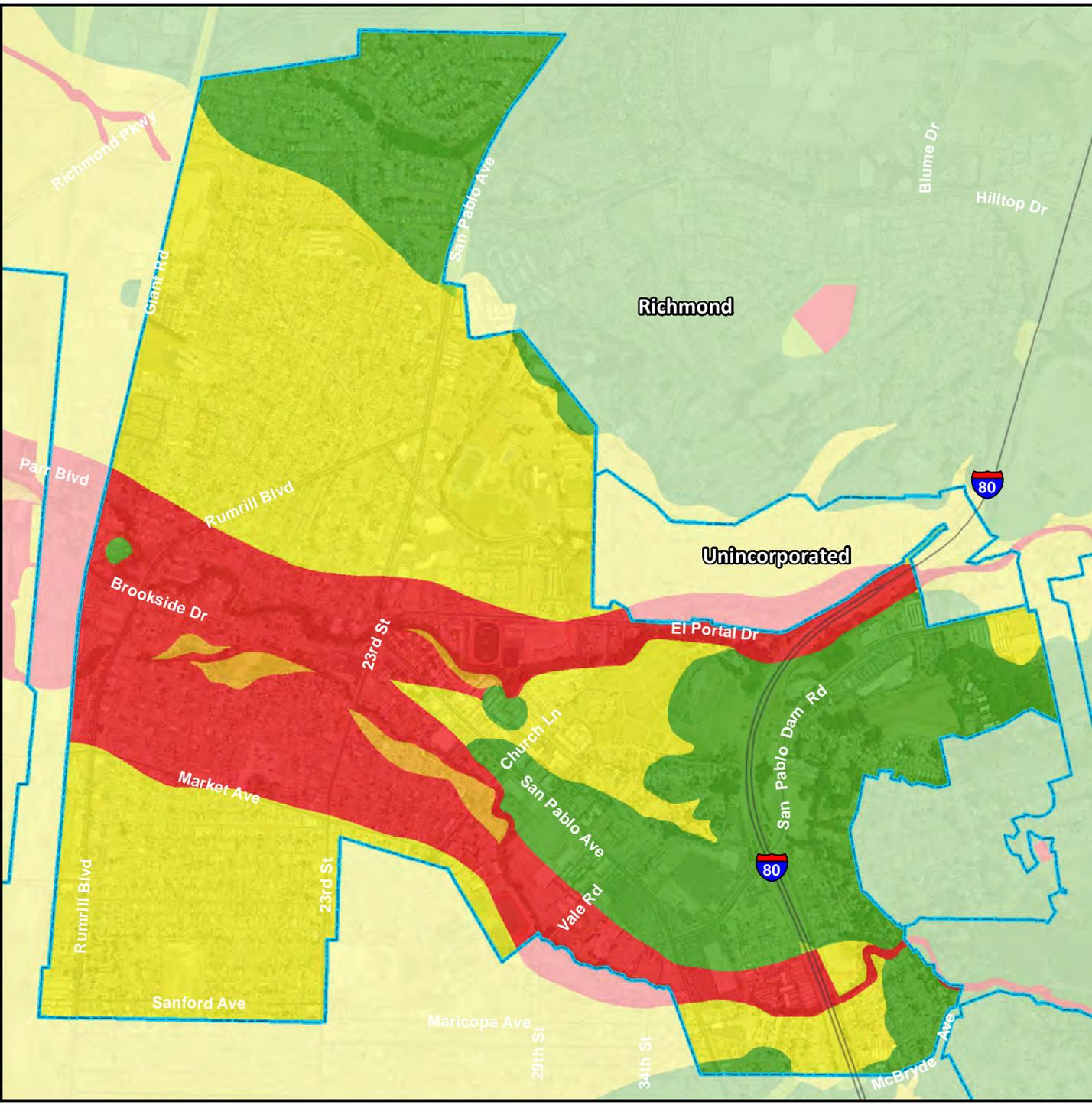
-  Contra Costa County Boundary
-  City Boundaries
-  Water Bodies
- Susceptibility to Liquefaction**
-  Very Low
-  Low
-  Medium
-  High
-  Very High
-  No Liquefaction Data Available



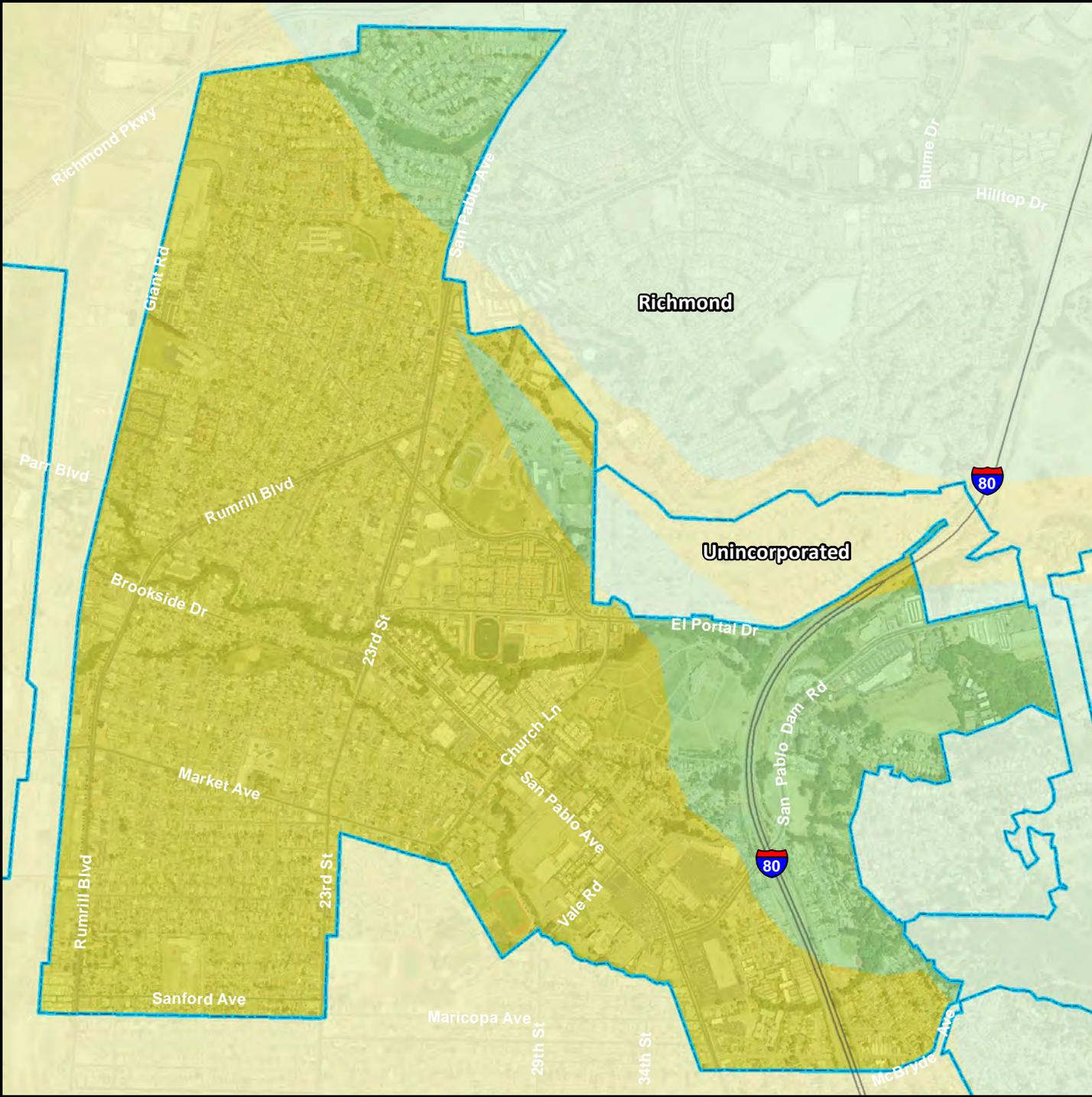
Miles



Map Data Sources: Contra Costa County, Caltrans, California Geological Survey, USDA, USGS



The City of San Pablo National Earthquake Hazard Reduction Program (NEHRP) Soil Class



-  Contra Costa County Boundary
 -  City Boundaries
 -  Water Bodies
- NEHRP Site Class / Soil Profile**
-  B / Rock
 -  C / Very Dense Soil - Soft Rock
 -  D / Stiff Soil
 -  E / Soft Soil
 -  No Soil Data Available



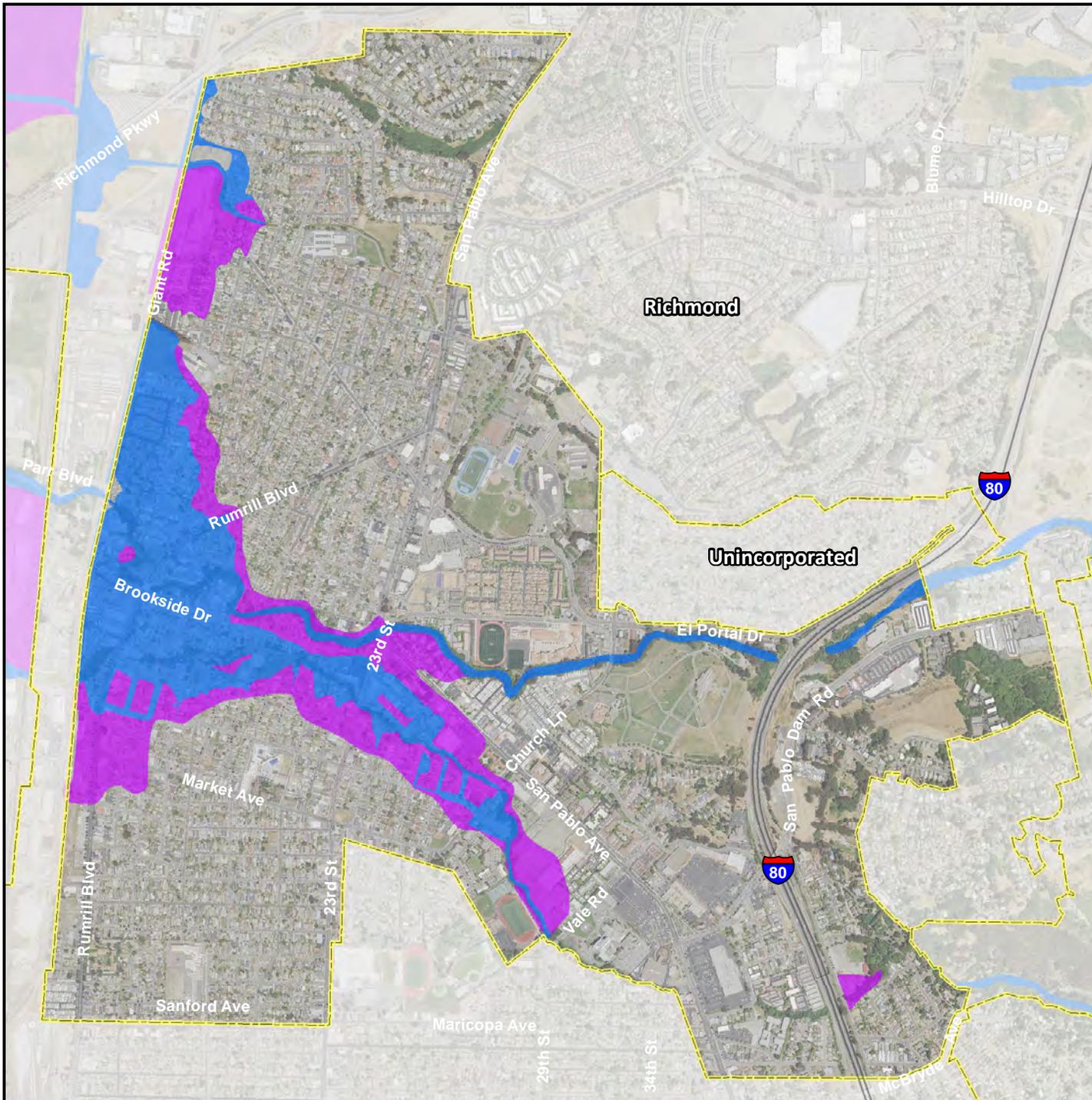
Map Data Sources: Contra Costa County,
Caltrans, California Department of
Conservation, USDA

The City of San Pablo

FEMA DFIRM Flood Hazard Areas

-  1% Annual Chance (100-Year) Flood Zone
-  0.2% Annual Chance (500-Year) Flood Zone
-  Contra Costa County Boundary
-  City Boundaries
-  Water Bodies

Flood hazard areas as depicted on Effective FEMA Digital Flood Insurance Rate Maps (DFIRM)



Map Data Sources: Contra Costa County, CalTrans, FEMA, USDA

The City of San Pablo

Landslide Susceptibility Zones

-  Contra Costa County Boundary
-  City Boundaries
-  Water Bodies
- Type**
-  Low
-  Moderate
-  High
-  Very High / Existing
-  Data Not Available

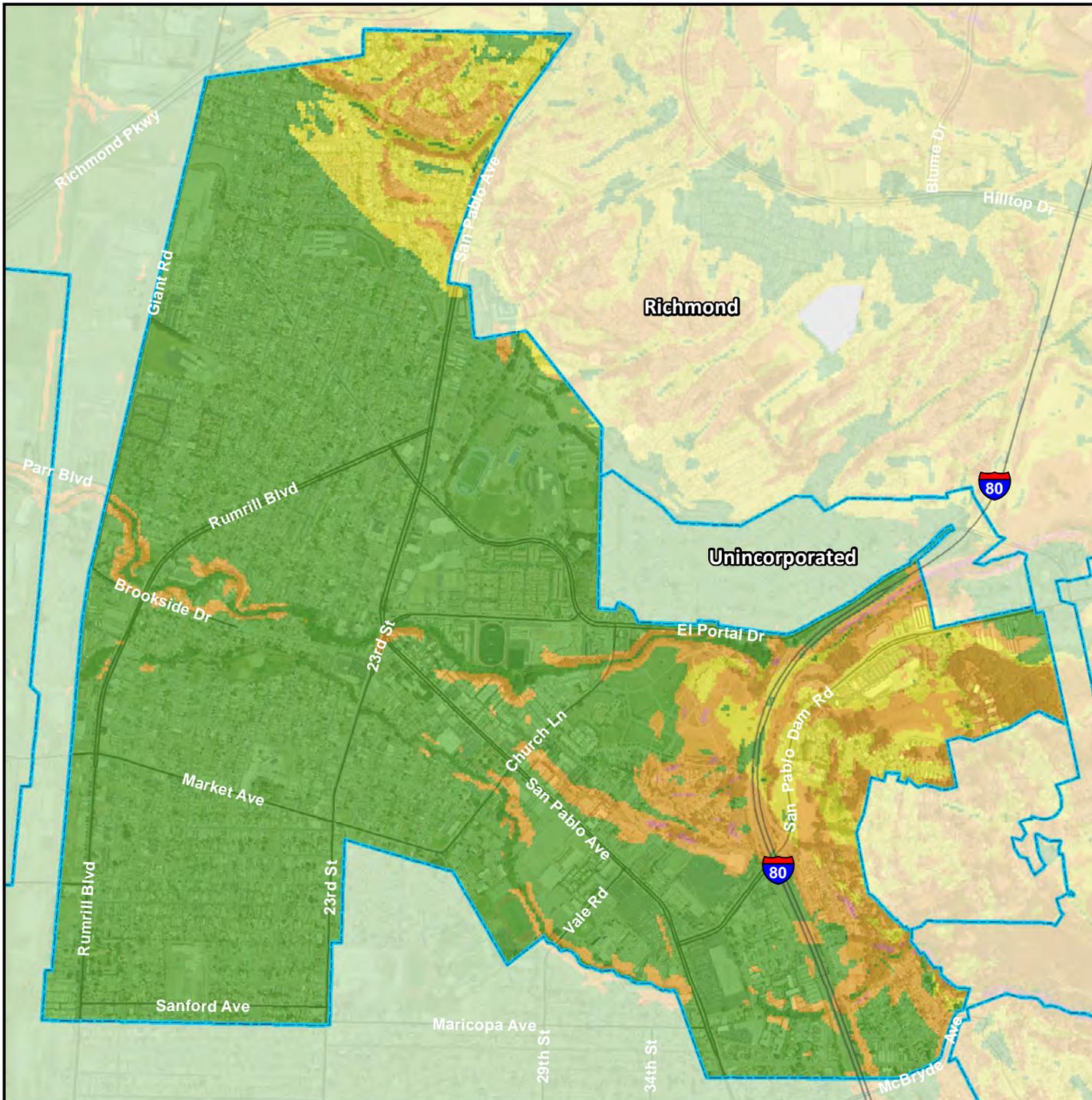
Source dataset created by Wills C.J., Perez, F., Gutierrez, C., 2011, Susceptibility to deep-seated landslides in California: California Geological Survey Map Sheet 58

0 0.15 0.3 0.6

Miles



Map Data Sources: Contra Costa County, Caltrans, California Geological Survey, USDA, USGS



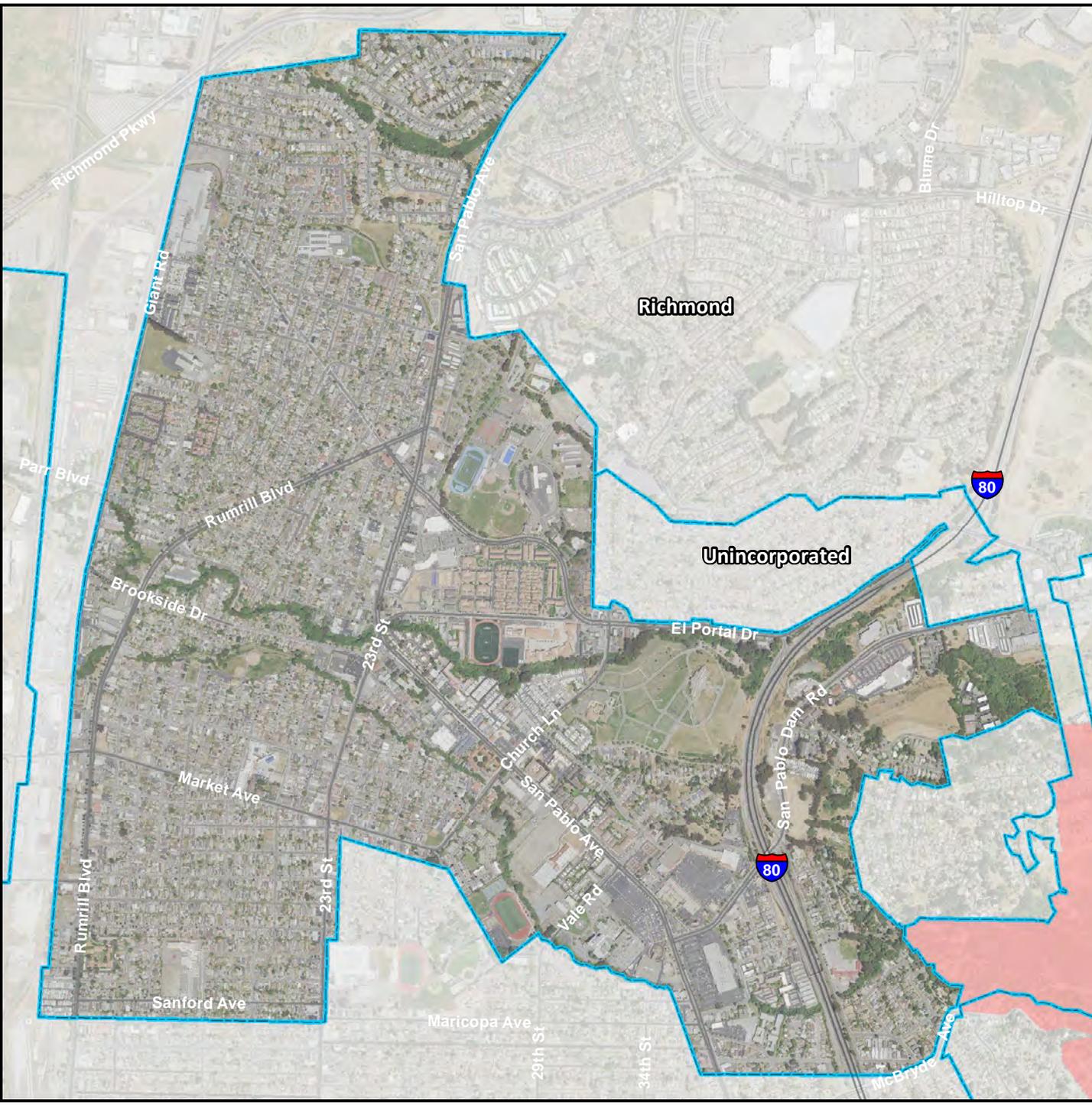
The City of San Pablo

Wildfire Severity Zones

-  Contra Costa County Boundary
-  City Boundaries
-  Water Bodies

Wildfire Severity Zone

-  Moderate
-  High
-  Very High



Miles



Map Data Sources: Contra Costa County, Caltrans, CalFIRE, USDA



FEMA

August 15, 2018

Marcelle Indelicato
Senior Emergency Planner
Contra Costa County Office of Emergency Services
Office of the Sheriff, Emergency Services Division
50 Glacier Drive
Martinez, CA 94553

Dear Ms. Indelicato:

We have received documentation from the San Ramon Valley Fire Protection District, the City of San Pablo, the Contra Costa Water District, the Kensington Fire Protection District, and Reclamation District No. 830, Jersey Island, confirming their adoption of the *Contra Costa County Hazard Mitigation Plan*. These jurisdictions are now in compliance with the planning requirements of the Disaster Mitigation Act of 2000.

The *Contra Costa County Hazard Mitigation Plan* is valid for five years from the approval date, April 19, 2018, for all approved participants. The plan must be reviewed, updated and submitted to FEMA Region IX for approval at least once every five years. An updated list of the current status of participating jurisdictions is enclosed with this letter.

The approval of this plan ensures the Contra Costa County's continued eligibility for project grants under FEMA's Hazard Mitigation Assistance programs, including the Hazard Mitigation Grant Program, Pre-Disaster Mitigation Program, and Flood Mitigation Assistance Program. All requests for funding, however, will be evaluated individually according to the specific eligibility, and other requirements of the particular program under which applications are submitted.

Also, approved hazard mitigation plans may be eligible for points under the National Flood Insurance Program's Community Rating System (CRS). Additional information regarding the CRS can be found at <https://www.fema.gov/national-flood-insurance-program-community-rating-system> or through your local floodplain manager.

If you have any questions regarding the planning or review processes, please contact Alison Kearns, Senior Community Planner, at (510) 627-7125 or by email at alison.kearns@fema.dhs.gov.

Sincerely,

A handwritten signature in blue ink that reads "Juliette Hayes".

Juliette Hayes
Director
Mitigation Division
FEMA, Region IX

cc: Julie Norris, Mitigation and Dam Safety Branch Chief, California Governor's Office of Emergency Services
Jennifer Hogan, State Hazard Mitigation Officer, California Governor's Office of Emergency Services

Status of Participating Jurisdictions as of August 15, 2018

Jurisdictions – Adopted and Approved

#	Jurisdiction	Date of Adoption
1	Contra Costa County	4/10/2018
2	Antioch Unified School District	2/21/2018
3	Antioch, City of	2/27/2018
4	Bethel Island Municipal Improvement District	2/15/2018
5	Central Contra Costa Sanitary District	3/1/2018
6	Concord, City of	3/6/2018
7	Crockett Community Services District	3/7/2018
8	Danville, Town of	4/3/2018
9	El Cerrito, City of	4/3/2018
10	Ironhouse Sanitary District	3/6/2018
11	Orinda, City of	2/20/2018
12	Pleasant Hill Parks and Recreation District	2/22/2018
13	San Ramon, City of	3/27/2018
14	San Ramon Geologic Hazard Abatement District	3/27/2018
15	Eastern Contra Costa Transit Authority – Tri Delta Transit	2/28/2018
16	Walnut Creek, City of	2/20/2018
17	San Ramon Valley Fire Protection District	6/27/2018
18	San Pablo, City of	4/16/2018
19	Contra Costa Water District	5/16/2018
20	Kensington Fire Protection District	5/9/2018
21	Reclamation District No. 830, Jersey Island	5/8/2018

Jurisdictions – Approvable Pending Adoption

#	Jurisdiction
1	Brentwood, City of
2	Lafayette, City of
3	Martinez, City of
4	Moraga, Town of
5	Pleasant Hill, City of
6	Richmond, City of
7	Contra Costa County Fire Protection District
8	Contra Costa County Flood Control and Water Conservation District
9	Contra Costa County Office of Education
10	Delta Diablo
11	Diablo Water District
12	Kensington Police Protection and Community Services District
13	San Ramon Valley Unified School District
14	West Contra Costa Unified School District

West County Times

1050 Marina Way S
Richmond, CA 94804
(510) 262-2740

2015901

SAN PABLO CITY OF
CITY CLERK OFFICE
LEHNY CORBIN
13831 SAN PABLO AV BLDG #1
SAN PABLO, CA 94806

PROOF OF PUBLICATION

FILE NO. October 23 Hearing

In the matter of

West County Times

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter.

I am the Principal Legal Clerk of the West County Times, a newspaper of general circulation, printed and published in the City of Walnut Creek, County of Contra Costa, 94598

And which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Contra Costa, State of California, under the date of August 29, 1978. Case Number 188884.

The notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

10/13/2018

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Executed at Walnut Creek, California.
On this 15th day of October, 2018.



Signature

Legal No.

0006237301



CITY OF SAN PABLO
City of New Directions

CITY OF SAN PABLO NOTICE OF PUBLIC HEARING TUESDAY, OCTOBER 23, 2018

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of San Pablo, State of California, will hold a public hearing on the following items:

PLAN1808-0012: General Plan Amendment To Adopt a Hazard Mitigation Plan. Consideration of the adoption of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update into the City of San Pablo Safety Element of the General Plan. Adopting this plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). California State Assembly Bill 2140, passed in October 2006, also allows a local jurisdiction to be eligible for consideration for part or all of its local costs to be provided by through the California Disaster Assistance Act (CDAA). Language in the Hazard Mitigation Plan allows the City of San Pablo to apply for funds for the following hazards of concern: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. The Planning Commission will forward a recommendation to the City Council on this matter.

NOTICE IS HEREBY FURTHER GIVEN that in accordance with the California Environmental Quality Act (CEQA), the proposed action is not a project under the California Environmental Quality Act (CEQA) pursuant to Section 15375(b)(5): organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment.

PLAN 1809-0007: Conditional Use Permit. A request for approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep (4,995 square feet) at 1108 Brookside Avenue, San Pablo, Ca (APN 417-010-023). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

PLAN 1808-0009: Conditional Use Permit. A request for approval of a Conditional Use Permit to expand an existing non-conforming use by adding 222 sq. ft. of living area to one unit of an existing duplex and to allow tandem parking for two vehicles in order to accommodate for the required four (4) off street parking spaces at 1715/1719 Dover Avenue, San Pablo, Ca (APN 411-222-013). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

NOTICE IS HEREBY FURTHER GIVEN that the hearing will be held at the Planning Commission meeting on Tuesday, the 23rd day of October, 2018 at 6:30 p.m. in the City Council Chambers located at One Alvarado Square, 13831 San Pablo Avenue, San Pablo, CA 94806 at which time and place all persons interested may be heard. Questions may be directed to the City of San Pablo Community & Economic Development Department at (510) 215-3030.

NOTE: If you challenge this item in court, you may be limited to raising only those issues raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

If you need Spanish language assistance, please contact the Community & Economic Development Department at (510) 215-3030. Si necesita asistencia en español, por favor contacte al Departamento de Desarrollo Comunitario y Económico al (510) 215-3030.

Elizabeth Dunn, Planning Manager
Community & Economic Development

WCT 6237301 October 13, 2018

Planning Commission Staff Report

PREPARED BY: Sandra Marquez, Assistant Planner

DATE: October 23,2018

SUBJECT: PLAN 1809-0007, 1108 BROOKSIDE AVENUE, SAN PABLO, CA, APN 417-010-023

CONSIDERATION OF A CONDITIONAL USE PERMIT FOR TANDEM PARKING ON A LOT LESS THAN 50 FEET IN WIDTH ON A SUBSTANDARD LOT OF 4,995 SQUARE FEET TO ALLOW A 358 SQ. FT RESIDENTIAL ADDITION AND A 150 SQ. FT. DECK.

PROJECT TITLE AND REQUEST

Conditional Use Permit, PLAN1809-0007, a request for approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep.

STAFF RECOMMENDATION

Adopt Resolution 18-12 approving PLAN1800-0007 for the Conditional Use Permit for a new 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house residence with a one-car garage and tandem parking in the driveway with the findings and conditions of approval.

BACKGROUND

Applicant: Ardalan Payvar
Location: 1108 Brookside Ave
Assessor Parcel Number: 417-010-023
General Plan Designation: Single Family Residential
Zoning District: R-1 (Single Family Residential) District

Surrounding Zoning and Land Uses:

North: R-1 Single Family Residential District
South: R-1 Single Family Residential District
East: R-1 Single Family Residential District
West: R-1 Single Family Residential District

SITE AND PROJECT DESCRIPTION

The applicant is requesting the approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep. Section 17.08.050, Nonconforming parking, states that where any nonconforming use or structure is allowed to be expanded, changed or replaced, the new structure or use shall comply with the current parking requirements in Chapter 17.54, Parking and Loading. The existing single family house is nonconforming because it currently has a one-car garage, but Chapter 17.54, Parking and Loading requires two-covered off street parking spaces. Now that the owner is proposing an expansion to the house, the parking would need to be brought up to code.

Section 17.54.020(E)(2) of the San Pablo Zoning Code allows a Conditional Use Permit for tandem parking (one parking in a garage, and one parking space in the driveway) on a property less than 50 feet in width with approval from the Planning Commission. The driveway dimensions are consistent with parking regulations in the zoning code.

Tandem parking (one space in a garage located in the front half of the lot and one uncovered space in the driveway) is an alternative to standard parking requirements in order to comply with the residential design guidelines, maintain the maximum lot coverage, and meet the off-street parking requirement for a parcel less than 50 feet wide.

CONDITIONAL USE PERMIT

Through the Conditional Use Permit process, the Planning Commission is given an opportunity to review uses with this classification and approve, approve with conditions or deny such proposals. In considering approval of a Conditional Use Permit, the Planning Commission shall make a finding that the establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Allowing tandem parking on the existing residence will allow for the bedroom and bathroom addition while maintaining the existing detached garage in the rear of the property. The existing driveway is 70 feet long leading to the detached garage in the rear of the property. The configuration of the existing house and the proposed addition do not accommodate for an expansion of the existing garage.

GENERAL PLAN CONFORMANCE

The proposal to allow a one-bedroom and one-bathroom addition to an existing single family home with a detached once-car garage and tandem parking is consistent with the following General Plan Actions and Policies for the Residential District in which it is located:

Policy LU 4.8: Neighborhood Integrity

The City shall promote the preservation of the integrity of existing stable residential neighborhoods.

The applicant is proposing a new one-bedroom and one-bathroom residential addition to an existing three (3) bedroom and one (1) bathroom single-family home. This lot is considered substandard at

45 feet wide and 111 feet in depth. In order to provide the required off-street parking, the applicant is proposing tandem parking.

Policy LU 4.9: Housing Needs

New housing developments or rehabilitations shall incorporate quality of life issues such as household size, layout, privacy, and quality of materials that reflect the current housing and household needs of the community.

The proposed residence with the new addition incorporates quality of life issues, such as the incorporation of two off-street parking spaces in form of tandem parking (within the garage and driveway) to meet the automobile needs of the future household. The proposed floor plan incorporates a dining room, living room, kitchen, two bathrooms and three bedrooms. The exterior elevations illustrate Hardie Plank siding and asphalt shingle roofing.

ZONING CONFORMANCE

The lot is in an R-1 Single-Family District and it is only 45 feet wide. Section 17.54.020 (E) (2) Parking and Loading for Dwellings-Single Family detail the following requirements to attached and detached single family dwellings:

“For single-family dwellings located on a lot with a width of less than 50 feet, two (2) enclosed spaces are required. Alternatively, subject to approval by a use permit, one (1) space in a garage located in the front half of the lot and one (1) uncovered space in the driveway may be provided.”

The Zoning Ordinance allows residential homes, where the lot is less than 50 feet wide, to have one vehicle parking space in a garage in the front half of the lot and one uncovered space in the drive way provided a Use permit is granted by the Planning Commission.

Summary of Zoning Ordinance Development standards:

DEVELOPMENT STANDARDS FOR R-1 ZONING DISTRICT			
Standards	Zoning Ordinance Requires	Proposed Project	Complies?
Front yard setbacks	20 feet	22 feet	Yes
Rear yard setbacks	15 feet minimum	27 feet	Yes
Side setbacks	3 feet minimum	3 feet in one side, 15 feet in the other side 0 feet for garage (existing non-conforming)	Yes
Height limits	27 feet maximum	14 feet	Yes

DEVELOPMENT STANDARDS FOR R-1 ZONING DISTRICT			
Standards	Zoning Ordinance Requires	Proposed Project	Complies?
Lot coverage	45% maximum	34.6%	Yes

The existing house meets all of the zoning development standards. The one-car garage is existing nonconforming because it does not meet the minimum side yard setback of 3 feet. The project description does not include making any modification to the existing garage, therefore the garage can remain. The proposal for tandem parking in the driveway is to meet parking requirements and allow the residential addition.

ANALYSIS

This existing single-story residence is complementary with the character of the neighborhood where other one-story homes exist. The proposed residential addition is to the rear of the property and will not change the street view and overall look of the residence. The house will continue to meet all of the zoning requirements with regards to setbacks, parcel coverage, and height limits of the R-1 zoning district.

The existing garage is in the rear half of the property with an existing 70 feet long and 11 feet wide driveway which gives plenty of space for tandem parking. The front of the property is a lawn which will remain. Based on the existing conditions of the property, a residential addition to an existing house with single car garage is adequate and meets the intent of the San Pablo General Plan.

FINDINGS

- A. That the granting of the Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.
- B. That the project is exempt from provisions of CEQA, consistent with CEQA guidelines Section 15301, Existing Facilities, Class 1(e), Addition to existing structure.
- C. That the proposed project complies with the development standards of the R-1 Single-family Residential zoning district.
- D. That the proposed project incorporates the policies established in the General Plan and Housing Element regarding providing additional housing to meet the community needs.
- E. That public notice of the hearing has been given by mail to the applicants, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

ENVIRONMENTAL DETERMINATION

This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure. Class 1(e) consists of additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor

area of the structure before the addition, or 2,500 square feet. The proposed residential addition is covered under this exemption.

PUBLIC HEARING NOTICE

Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on October 10 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, October 13, 2018.

ATTACHMENTS:

- A: Resolution 18-12
- B: Plans (Site Plan, Floor Plan, Elevations)
- C: Photos
- D: Perspective View
- E: Proof of Publication from West County Times

RESOLUTION 18-12

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN PABLO APPROVING A CONDITIONAL USE PERMIT FOR TANDEM PARKING ON A LOT LESS THAN 50 FEET IN WIDTH ON A SUBSTANDARD LOT OF 4,995 SQUARE FEET AT 1108 BROOKSIDE AVENUE, SAN PABLO, CA (APN 417-010-023)

WHEREAS, staff received a Conditional Use Permit application, PLAN 1809-0007, requesting approval of a Conditional Use Permit for tandem parking on a lot less than 50 feet in width on a substandard lot of 4,995 square feet to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck.

WHEREAS, Section 17.54.020(E)(2) of the San Pablo Zoning Code allows a Conditional Use Permit for tandem parking (one parking in a garage, and one parking space in the driveway) on a property less than 50 feet in width with approval from the Planning Commission; and

WHEREAS, the Planning Commission shall make findings that the establishment, maintenance or operation of the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City; and,

WHEREAS, the proposed design is consistent with the General Plan, Zoning Ordinance development standards, parking and landscaping requirements, fosters the harmonious development and preservation of the public health and welfare of the City and its neighborhoods, and the architectural design and colors of the proposed residence are visually harmonious with the surrounding development, landforms, and vegetation, and additionally the proposed use, together with the conditions applicable hereto, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and

WHEREAS, tandem parking creates two off-street parking spaces, which is the requirement for new single family residential construction; and

WHEREAS, this project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1 (e) addition to existing structured provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition.

WHEREAS, a public hearing notice has been given by mail to the applicant, local affected agencies and to all property owners within 300 feet of the subject property, and has been published in the East Bay Times in accordance with the requirements of Government Code Section 65091 and a public hearing held on October 23, 2018, at which public testimony was considered.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of San Pablo has reviewed the proposed project and approves this proposal, based on the following findings:

- A. That the granting of this Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The General Plan land use designation is Single Family Residential. The zoning for the site is R-1, Single-family residential, which implements the General Plan land use designation. Staff finds the request to construct a 358 sq. ft. addition to an existing single-story residence with a detached one car garage, and allowing tandem parking, appropriate for the design of the neighborhood because the existing neighborhood has similar designed homes and the property is large enough to accommodate an addition. For these reasons, granting of this Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

That the project is exempt from provisions of CEQA, consistent with CEQA guidelines Section 15301, addition to an existing structure Class 1(e).

The project has been determined to be exempt under CEQA, Section 15301, addition to an existing structure, Class 1(e), consists of additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet.

- B. The proposed project complies with the development standards of the R-1 Single-family Residential zoning district.

The proposed residential addition adheres to the development standards of the R-1 zoning district. The front, side, and rear yard setbacks meet the established setbacks. Additionally, the height of the proposed single story addition adheres to the height limit of 27 feet and is consistent with the existing house. The proposal is to allow tandem parking for the second parking space in the driveway of the existing detached garage.

- C. The proposed project incorporates the policies established in the General Plan regarding neighborhood integrity and housing needs.

The proposal to construct a 358 sq. ft. residential addition to an existing single family house and allow tandem parking in the driveway incorporates the General Plan policies regarding neighborhood integrity and housing needs. The design is complimentary to the existing neighborhood, uses quality materials, and meets the development standards of the R-1 zoning district. One covered parking space and one parking space in the

driveway establishes the required two off-street parking spaces for this existing residence.

- D. Public notice of the hearing has been given by mail to the applicants, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on Wednesday, October 10, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, October 13, 2018.

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Pablo hereby approves PLAN1809-0007 a Conditional Use Permit based upon the following Conditions of Approval.

1. The Conditional Use Permit shall become null and void after one year of the Planning Commission's effective date of approval unless a building permit has been issued and normal construction progress has been made.
2. Minor modifications to this Conditional Use Permit may be granted by the Zoning Administrator, if the proposed changes generally comply with the intent of the Use Permit.
3. Obtain all necessary City of San Pablo Building and Public Works permits, and submit payment of fees and agency permits and approval from water, waste, fire and the school district for any proposed work.
4. Plans submitted for building permits and all subsequent construction shall be in substantial compliance with plans prepared by J.M. Lopez. Submitted to the City of San Pablo on September 6, 2018, consisting of the Site Plan, Floor Plan and Elevations, subject to the following conditions.
5. Indemnification: Pursuant to Government Code Section 66474.9, the applicant (including any agent thereof) shall defend, indemnify, and hold harmless the City of San Pablo and its agents, officers, or employees from any claim to attack, set aside, void or annul, the City's approval concerning this planning application, which action is brought within the time period provided for in Section 66499.37. The City will promptly notify the applicant of any such claim, action, or proceeding and cooperate fully in the defense.
6. Any relocation of utilities as a result of this approval shall be at no expense to the City of San Pablo.
7. Construction activity shall be limited to between the hours of 7:00 A.M and 6:00 P.M Monday through Friday and from 9:00 A.M to 5:00 P.M on Saturday. Construction is not permitted on Sundays or federal holidays.
8. When submitting for a building permit, ensure all plans and documents, as required by the city,

are included in the packet.

9. Plans must indicate fire sprinklers are under a separate permit through Contra Costa Fire Prevention District.
10. The property shall be free of all debris during construction. All scrap materials shall be stored in a container and shall be removed regularly.
11. The plans shall be designed using the 2016 California Building, Mechanical, Electrical, Plumbing, Fire and Energy Codes.
12. Submit Drainage Plan. Call out the use of any stormwater conveyance materials that will be used and show the slope (i.e. piping). Drainage/runoff shall not be conveyed across property lines, including street frontage and driveway, and should be directed to 3-inch deep concaved landscaped areas at a 2:1 ratio (impervious to pervious) on site or piped to the street gutter (per City Standard detail SD-02) through a cross drain, in which case a curb-drain permit is required. Rain gutters and downspouts shall be installed on all subject structures. Downspouts shall be sloping away from the building with splash blocks/energy dissipaters. Please note of the following:
13.
 - a. Show on your plans which are impervious (roof, concrete, etc.) and pervious (landscape/vegetation) area; show downspouts. Mark off which impervious area is going to which pervious area. Provide a calculation table that shows you're following the ratio of 2:1 (impervious:pervious).
 - b. Show drain flows (arrows) showing that all stormwater will stay onsite.
14. Please note that the City inspector may require the replacement of sidewalk, curb and gutter adjacent to the property and shall be constructed per City Standard details: <http://www.sanpabloca.gov/index.aspx?nid=1262r>. An encroachment permit is required for this work. Any such work should be shown on the site or drainage plan.
15. The Contra Costa County pollution prevention plan sheet (full size) must be included in the construction plan set for plan check submittal and approval.
16. Storm drains must be protected from construction debris and materials. Include any storm drains located in or around your project on plans and call out the use of proper BMPs located on the City of San Pablo's website. <http://www.sanpabloca.gov/index.aspx?nid=1262>
17. The construction of any new structure must comply with CALGreen requirements for construction and demolition (C&D). At least 65% of nonhazardous C&D materials generated must be recycled and/or salvaged for reuse. All forms are found in the attached "San Pablo C&D Form." The "Pre-Construction Waste Management Plan (WMP) Instructions" shall be completed and return to the city when the permit application is submitted. The Building Department will not issue permits unless the form is completed. The "Post Construction Waste Management Report" form and weight receipts must be completed and returned prior to the final inspection for occupancy.

18. Exterior fencing shall be at the property line and shall comply with section 17.45 Fences, Walls, Gates, and Screening, of the Zoning Ordinance.

BE IT FURTHER RESOLVED that the foregoing recitations are true and correct, and are included herein by reference as findings.

Adopted this 23th day of October, 2018, by the following vote:

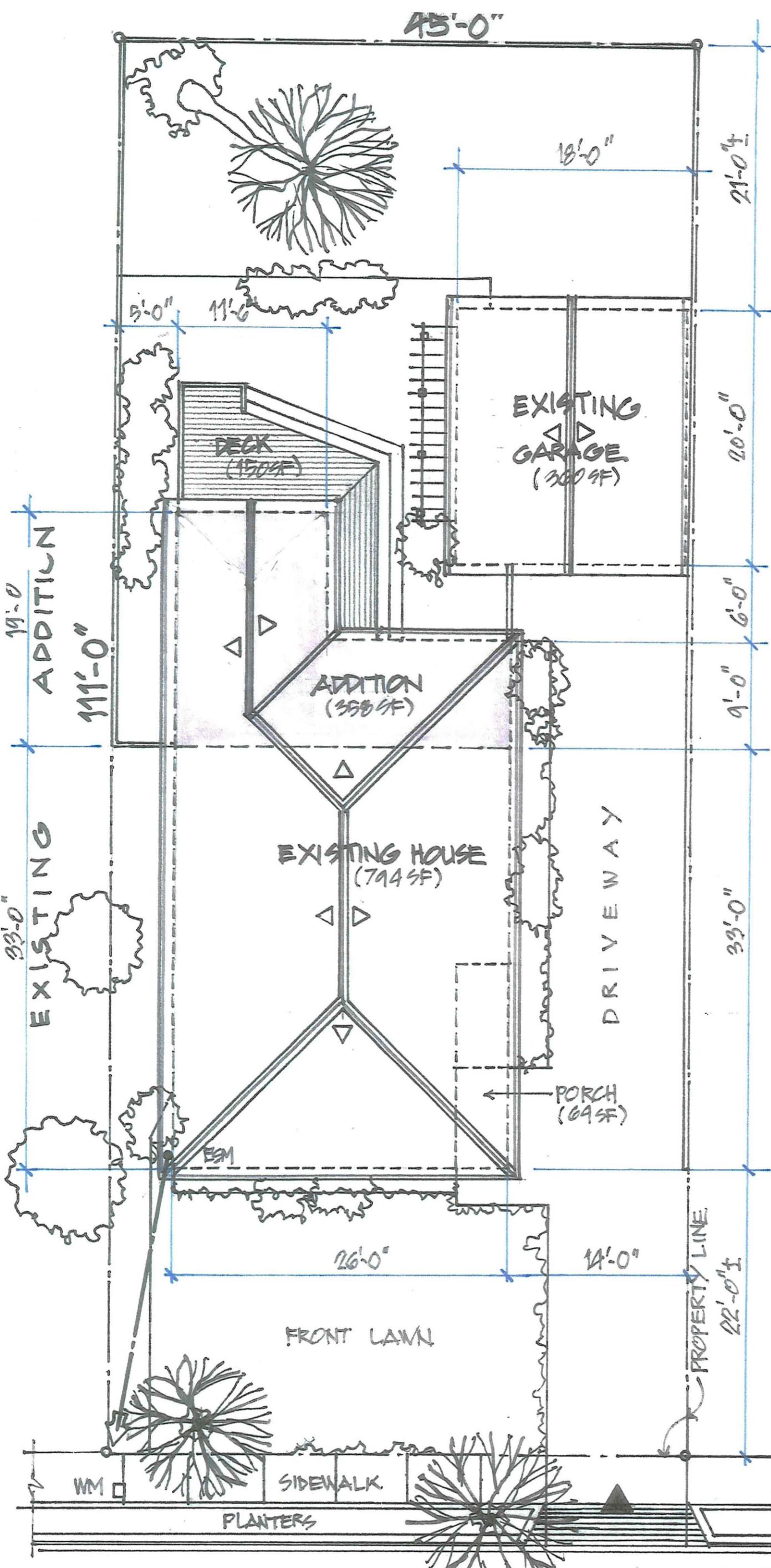
AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

ATTEST:

APPROVED:

Charles Ching
Secretary

Rita Xavier
Chairperson



AREA SUMMARY:

LOT AREA: 4995 SF

FLOOR AREAS:

- (E) HOUSE : 794 SF
- (E) PORCH : 64 "
- (E) GARAGE : 360 "
- (N) ADDITION : 358 "
- (N) DECK : 150 "
- TOTAL AREA : 1,726 SF

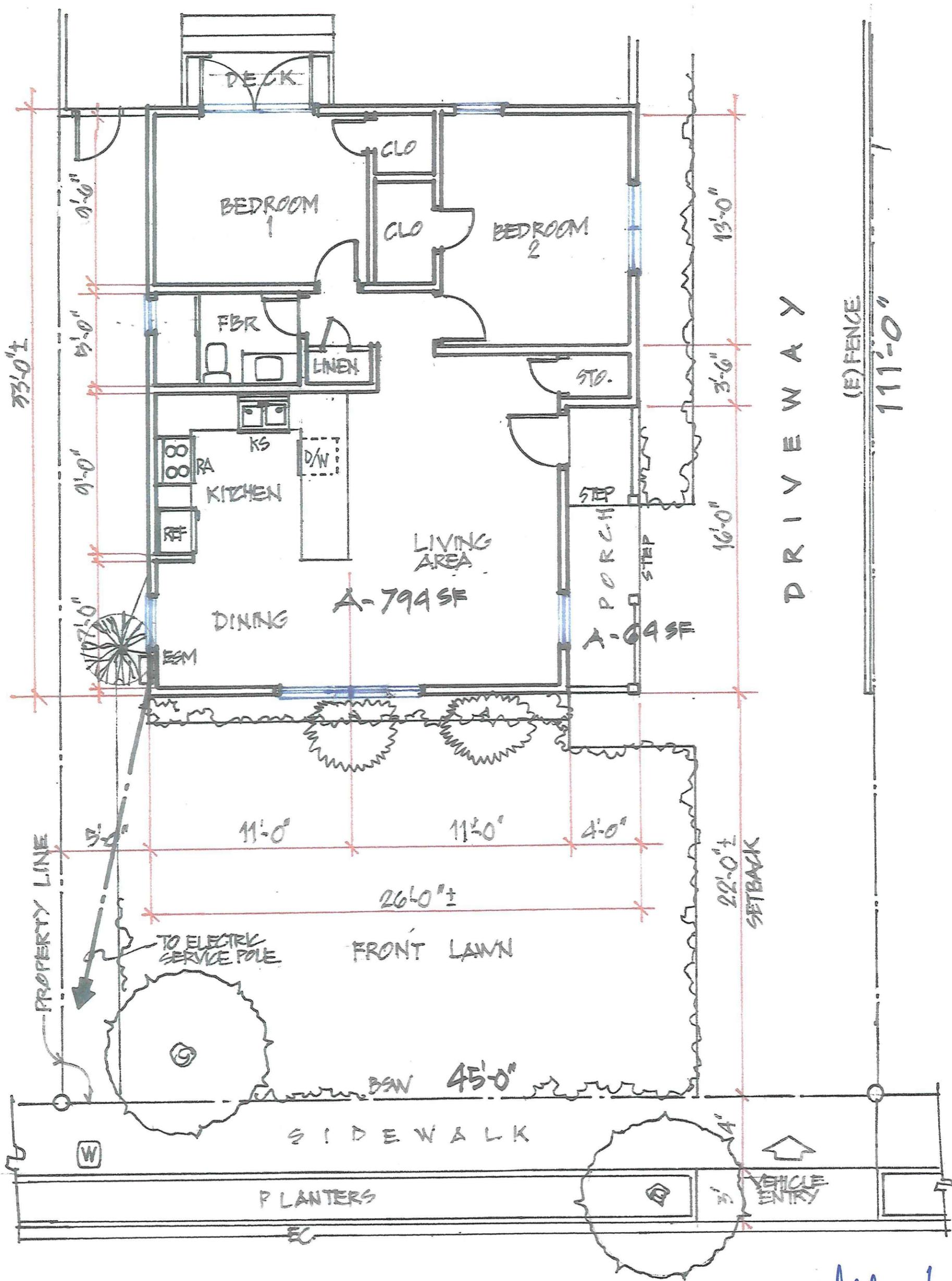
LOT COVERAGE:

$1726 / 4995 = 34.6\%$

SITE PLAN

SCALE 1/8" = 1'-0"

PAYVAR RESIDENCE
 1108 BROOKSIDE AVENUE,
 SAN PABLO, CA 94805



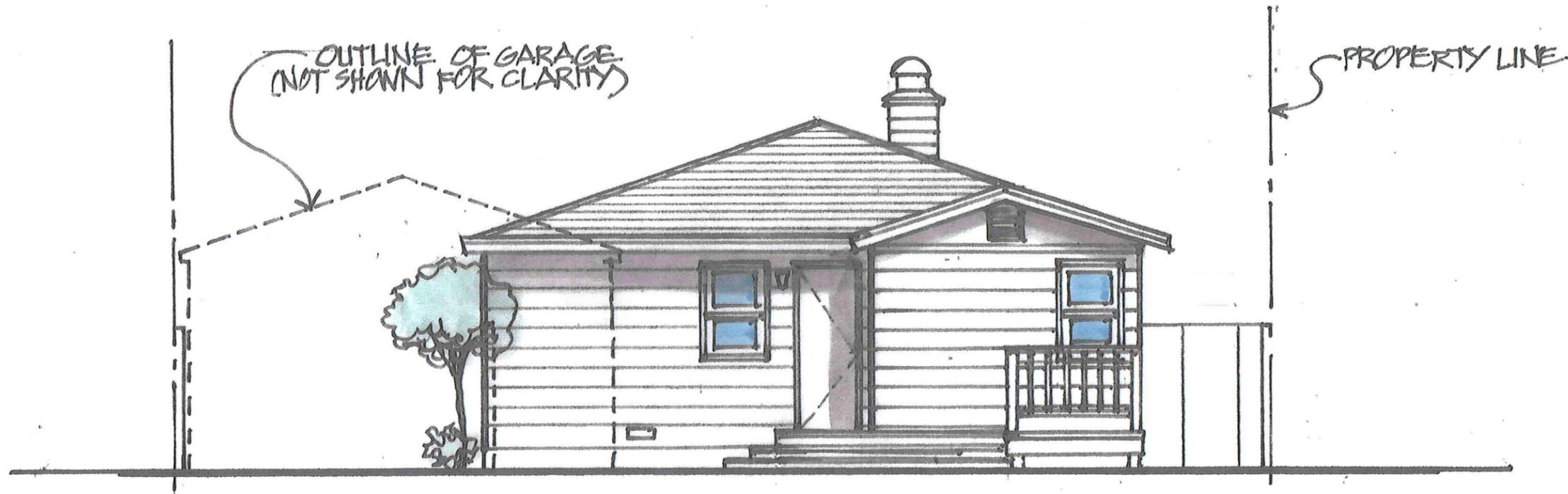
EXISTING PLAN

SCALE 3/16" = 1'-0"

OWNER: ARDALAN PAYVAR
 LOCATION: 1108 BROOKSIDE AVENUE,
 SAN PABLO, CA 94805

PREPARED BY *J.M. Lopez*
 J.M. LOPEZ
 DESIGNER

OWNER'S
COPY



NEW REAR ELEVATION

PROPOSED:

RESIDENTIAL ADDITION

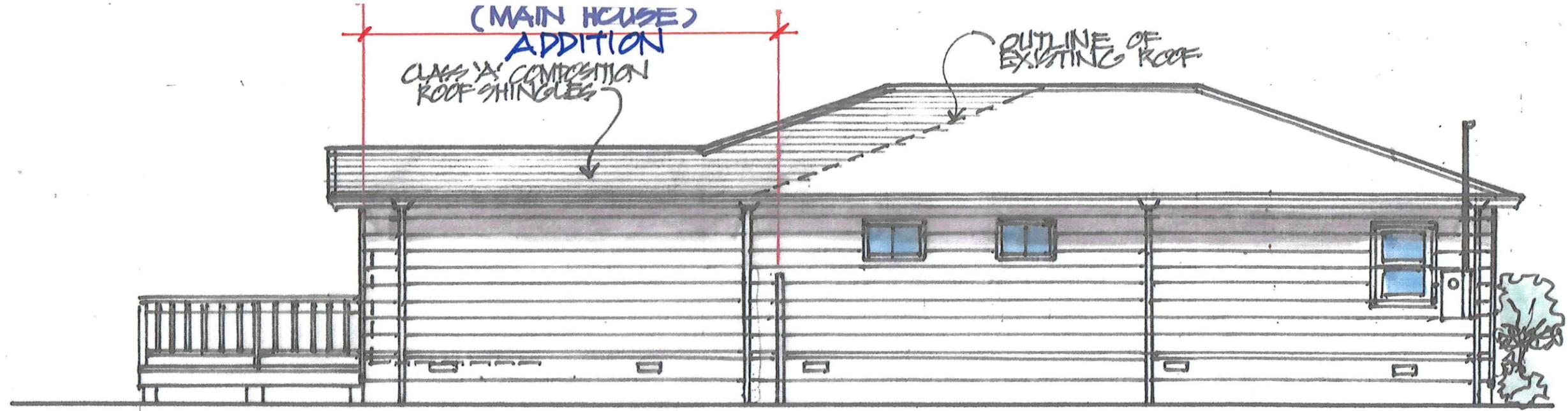
OWNER: ARDALAN PAYVAR

LOCATION: 1108 BROOKSIDE AVE.,
SAN PABLO, CA 94805

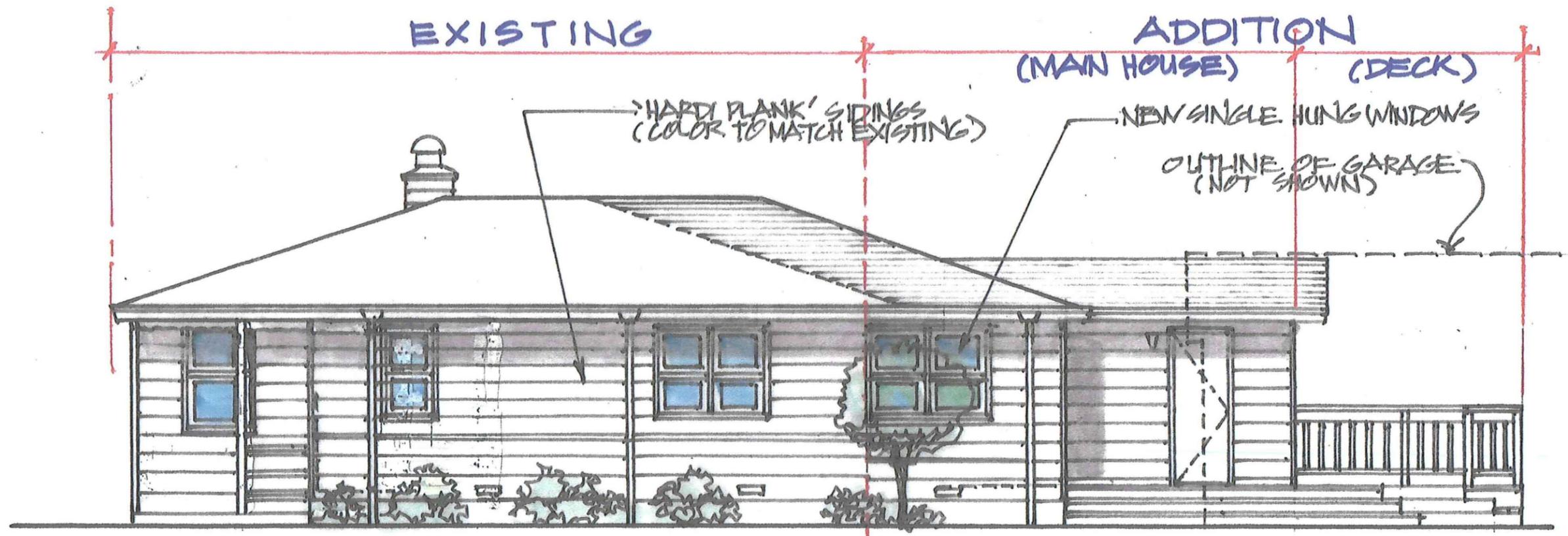
PREPARED BY

J.M. Lopez 10/9/18
J.M. LOPEZ
DESIGNER



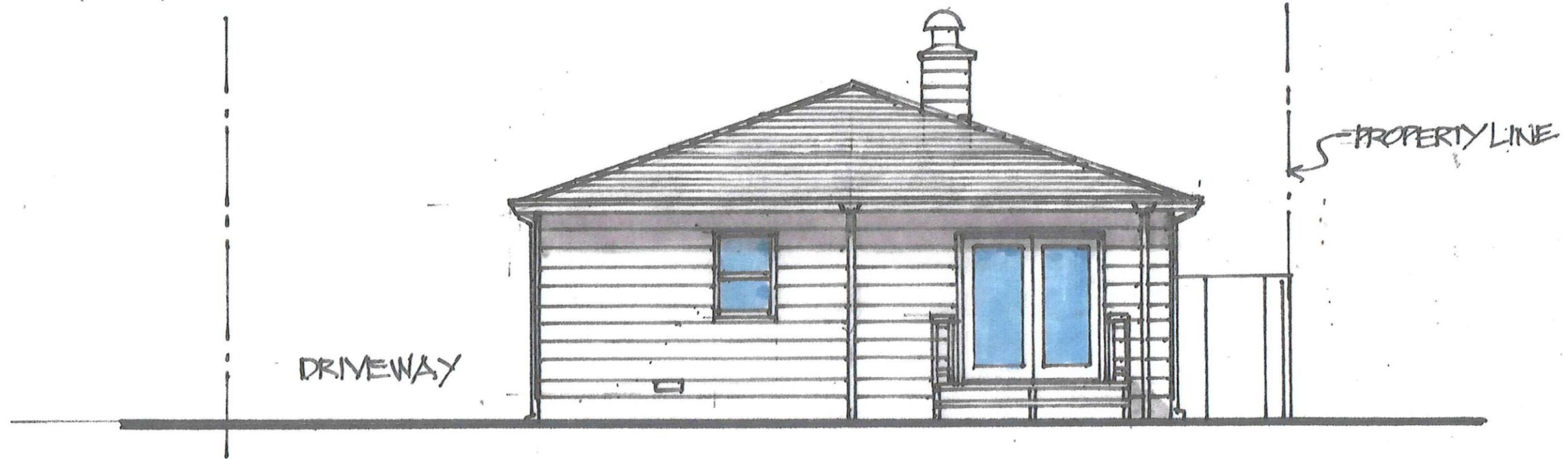


NEW LEFT SIDE ELEVATION



NEW RIGHT SIDE ELEVATION

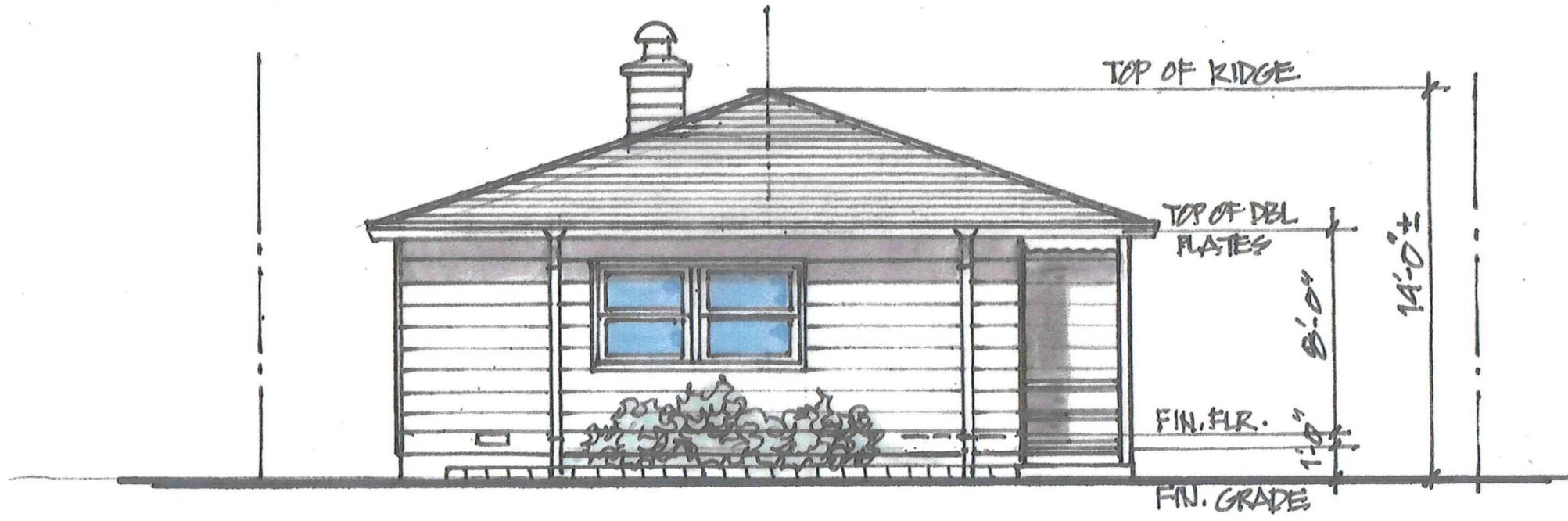
[Handwritten signature]
 2/4



DRIVEWAY

PROPERTY LINE

EXISTING REAR ELEVATION



TOP OF RIDGE

TOP OF DEL PLATES

14'-0"±

8'-0"

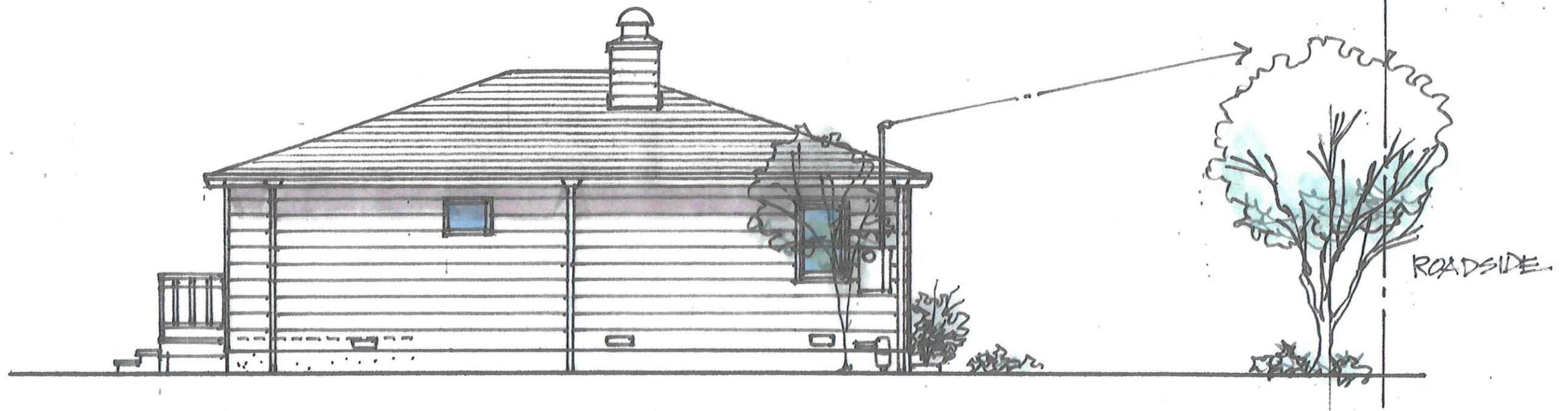
FIN. FLR.

1'-0"

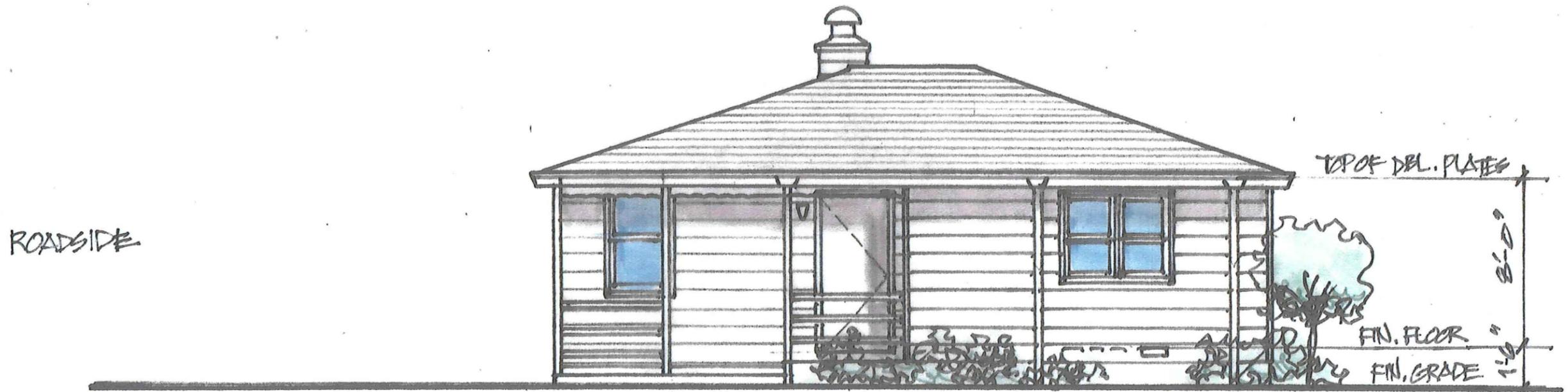
FIN. GRADE

EXISTING FRONT ELEVATION
(NO WORK TO BE DONE)

Julian
3/4



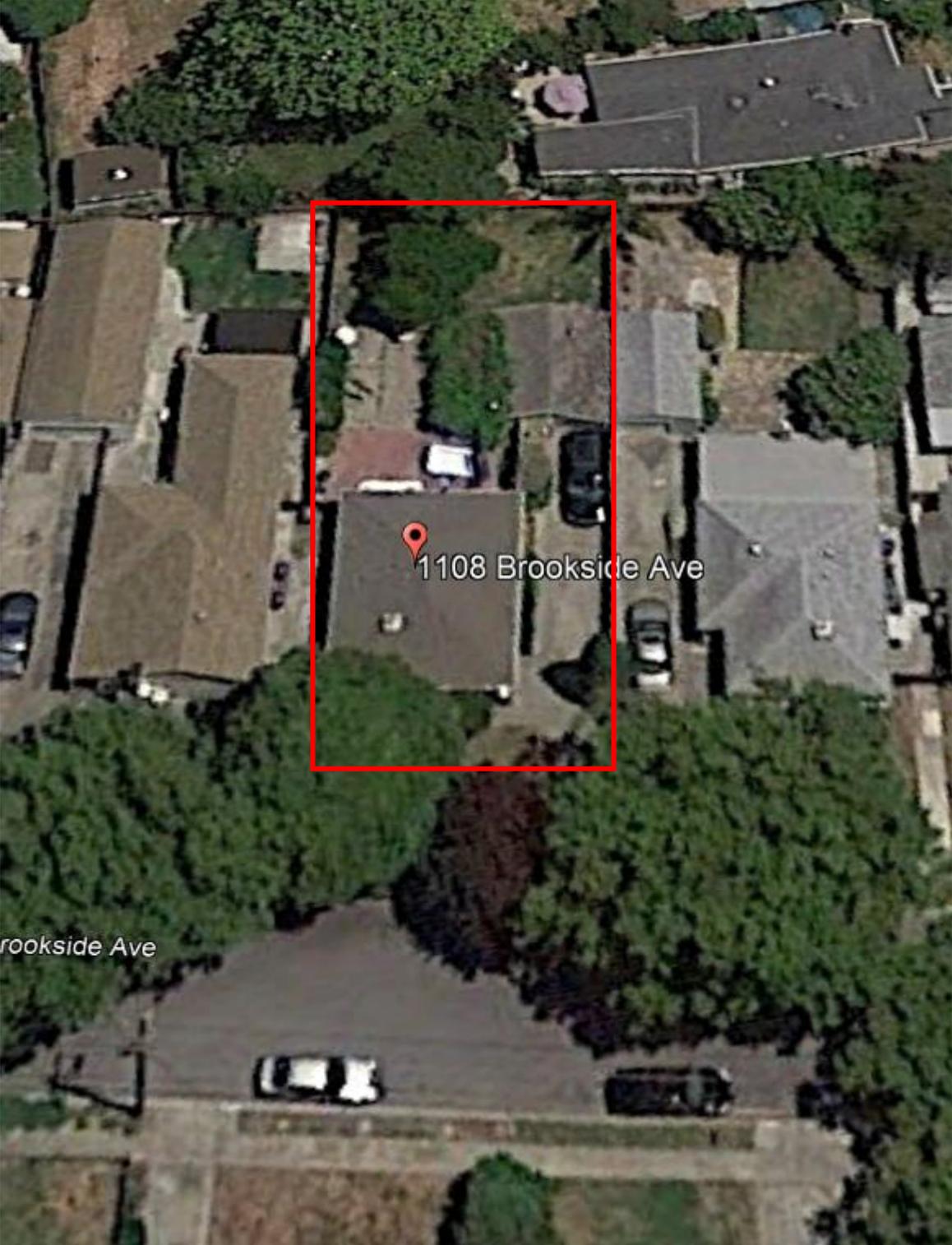
EXISTING LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION

Julie Lee
9/4





1108 Brookside Ave

Brookside Ave

AF

20



PREPARED BY: *J. Lopez*
JAMIE M. LOPEZ
 DESIGNER
 8/26/18

PERSPECTIVE VIEW

(VIEWED FROM THE BACK)

OWNER: ARDALAN PAYAR
 1108 BROOKSIDE AVE., SAN PABLO
 CA 94805

West County Times

1050 Marina Way S
Richmond, CA 94804
(510) 262-2740

2015901

SAN PABLO CITY OF
CITY CLERK OFFICE
LEHNY CORBIN
13831 SAN PABLO AV BLDG #1
SAN PABLO, CA 94806

PROOF OF PUBLICATION

FILE NO. October 23 Hearing

In the matter of

West County Times

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter.

I am the Principal Legal Clerk of the West County Times, a newspaper of general circulation, printed and published in the City of Walnut Creek, County of Contra Costa, 94598

And which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Contra Costa, State of California, under the date of August 29, 1978. Case Number 188884.

The notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

10/13/2018

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Executed at Walnut Creek, California.
On this 15th day of October, 2018.



Signature

Legal No.

0006237301



CITY OF SAN PABLO
City of New Directions

CITY OF SAN PABLO NOTICE OF PUBLIC HEARING TUESDAY, OCTOBER 23, 2018

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of San Pablo, State of California, will hold a public hearing on the following items:

PLAN1808-0012: General Plan Amendment To Adopt a Hazard Mitigation Plan. Consideration of the adoption of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update into the City of San Pablo Safety Element of the General Plan. Adopting this plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). California State Assembly Bill 2140, passed in October 2006, also allows a local jurisdiction to be eligible for consideration for part or all of its local costs to be provided by through the California Disaster Assistance Act (CDAA). Language in the Hazard Mitigation Plan allows the City of San Pablo to apply for funds for the following hazards of concern: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. The Planning Commission will forward a recommendation to the City Council on this matter.

NOTICE IS HEREBY FURTHER GIVEN that in accordance with the California Environmental Quality Act (CEQA), the proposed action is not a project under the California Environmental Quality Act (CEQA) pursuant to Section 15375(b)(5): organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment.

PLAN 1809-0007: Conditional Use Permit. A request for approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep (4,995 square feet) at 1108 Brookside Avenue, San Pablo, Ca (APN 417-010-023). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

PLAN 1808-0009: Conditional Use Permit. A request for approval of a Conditional Use Permit to expand an existing non-conforming use by adding 222 sq. ft. of living area to one unit of an existing duplex and to allow tandem parking for two vehicles in order to accommodate for the required four (4) off street parking spaces at 1715/1719 Dover Avenue, San Pablo, Ca (APN 411-222-013). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

NOTICE IS HEREBY FURTHER GIVEN that the hearing will be held at the Planning Commission meeting on Tuesday, the 23rd day of October, 2018 at 6:30 p.m. in the City Council Chambers located at One Alvarado Square, 13831 San Pablo Avenue, San Pablo, CA 94806 at which time and place all persons interested may be heard. Questions may be directed to the City of San Pablo Community & Economic Development Department at (510) 215-3030.

NOTE: If you challenge this item in court, you may be limited to raising only those issues raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

If you need Spanish language assistance, please contact the Community & Economic Development Department at (510) 215-3030. Si necesita asistencia en español, por favor contacte al Departamento de Desarrollo Comunitario y Económico al (510) 215-3030.

Elizabeth Dunn, Planning Manager
Community & Economic Development

WCT 6237301 October 13, 2018

Planning Commission Staff Report

PREPARED BY: Sandra Marquez, Assistant Planner

DATE: October 23, 2018

SUBJECT: **PLAN 1808-0009: 1715/1719 DOVER AVENUE, SAN PABLO, CA (APN 411-222-013).**

- 1) **CONSIDERATION OF A CONDITIONAL USE PERMIT TO ADD 222 SQ. FT. OF LIVING AREA TO AN EXISTING NON-CONFORMING DUPLEX IN A SINGLE-FAMILY ZONING DISTRICT, AND**
- 2) **TO ALLOW TANDEM PARKING FOR TWO VEHICLES IN ORDER TO ACCOMMODATE FOR THE REQUIRED FOUR (4) OFF-STREET PARKING SPACES (2 IN A GARAGE AND 2 TANDEM) FOR A NON-CONFORMING DUPLEX**

PROJECT TITLE AND REQUEST

Conditional Use Permit, PLAN1808-0009, a request for approval of a Conditional Use Permit to expand an existing non-conforming use by adding 222 sq. ft. of living area to one unit of an existing duplex and to allow tandem parking for two vehicles in order to accommodate the required four (4) off-street parking spaces.

STAFF RECOMMENDATION

Adopt Resolution 18-13 approving PLAN1808-0009 for the Conditional Use Permit for a 222 sq. ft. residential addition to an existing duplex and a two car garage with tandem parking for two vehicles.

BACKGROUND

Applicant: Yolanda Figueroa

Authorized Agent: Cari R. Jelen

Location: 1715-1719 Dover Ave

Assessor Parcel Number: 411-222-013

General Plan Designation: Single Family Residential

Zoning District: R-1 (Single Family Residential) District

Surrounding Zoning and Land Uses:

North: R-1 Single Family Residential District

South: R-1 Single Family Residential District
East: R-1 Single Family Residential District
West: R-1 Single Family Residential District

SITE AND PROJECT DESCRIPTION

The applicant is requesting approval for a Conditional Use Permit to expand an existing non-conforming use and approval for tandem parking for two (2) vehicles to accommodate the required off-street parking. The existing duplex was built in 1943 before the City was established. Currently, there are no covered off-street parking spaces onsite and the code regulations require two-off street parking spaces per unit. The proposed addition will be for one of the two units only, however the parking requirements for both units would need to be up to current standards. Section 17.08.030(A), Nonconforming Uses, state that a nonconforming use may be continued but the use shall not be enlarged unless it is allowed by a use permit.

Additionally, Section 17.08.050, Nonconforming parking, states that where any nonconforming use or structure is allowed to be expanded, changed or replaced, the new structure or use shall comply with the current parking requirements in Chapter 17.54, Parking and Loading. The existing duplex is nonconforming because it is zoned R-1 Single-Family Residential and it has no off-street parking. Now that the owner is proposing an expansion to one of the units, the parking needs to be brought up to code and the approval of a Conditional Use Permit is required. Tandem parking (one space in a garage located in the front half of the lot and one uncovered space in the driveway) is an alternative to standard parking requirements in order to comply with the residential design guidelines, maintain the maximum lot coverage, and meet the off-street parking requirement.

CONDITIONAL USE PERMIT

Through the Conditional Use Permit process, the Planning Commission is given an opportunity to review uses with this classification and approve, approve with conditions or deny such proposals. In considering approval of a Conditional Use Permit, the Planning Commission shall make a finding that the establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Allowing the expansion of one of the units in the existing nonconforming duplex will also allow for the establishment of a two-car garage and tandem parking for two vehicles creating (4) four off-street parking spaces where there is currently none. The proposed garage will be in the rear of the property.

GENERAL PLAN CONFORMANCE

The proposal to allow a one-bedroom and one-bathroom addition to an existing single family home with a detached two-car garage and tandem parking is consistent with the following General Plan Actions and Policies for the Residential District in which it is located:

Policy LU 4.8: Neighborhood Integrity

The City shall promote the preservation of the integrity of existing stable residential neighborhoods.

The applicant is proposing a new one-bedroom and one-bathroom residential addition to an existing two bedrooms, one bathroom units of the existing duplex. The project also includes a new two-car garage with two tandem spaces in the driveway. The duplex was constructed before the city was established; the expansion will also allow for the construction of the garage, which promotes the preservation and integrity of the neighborhood.

Policy LU 4.9: Housing Needs

New housing developments or rehabilitations shall incorporate quality of life issues such as household size, layout, privacy, and quality of materials that reflect the current housing and household needs of the community.

The proposed residential addition incorporates quality of life issues, such as the incorporation of four off-street parking spaces for the tandem parking (within the garage and driveway) to meet the automobile needs of the residents. The proposed floor plan incorporates a dining room, living room, kitchen, two bathrooms and three bedrooms. The exterior elevations illustrate plaster walls and composition shingle roofing.

ZONING CONFORMANCE

The lot is 6,000 sq. ft. in a R-1 Single Family Residential District. The use is an existing duplex which was constructed in 1943 before the City of San Pablo was established. Section 17.08.030(A), Nonconforming Uses, state that a nonconforming use may be continued but the use shall not be enlarged unless it is allowed by a use permit.

Summary of Zoning Ordinance Development standards:

DEVELOPMENT STANDARDS FOR R-1 ZONING DISTRICT			
Standards	Zoning Ordinance Requires	Proposed Project	Complies?
Front yard setbacks	20 feet	Existing house 10 feet, proposed addition is in the rear	Existing nonconforming
Rear yard setbacks	15 feet minimum for house 3 feet for detached garage	33 feet for house 3 feet for detached garage	Yes
Side setbacks	4 feet minimum for the house 3 feet for detached garage	4 feet for new addition, existing nonconforming house 3 feet. 3 feet for detached garage	Yes
Height limits	27 feet maximum	13'2"	Yes
Lot coverage	45% maximum	45%	Yes

The new residential addition and the new double car garage meets all of the zoning development standards. All of the proposed work is for only one of the two (2) existing units on the lot but the proposed parking will accommodate parking for both homes. The proposal for tandem parking in the driveway is to meet parking requirements and allow the residential addition.

ANALYSIS

This existing duplex is complementary with the character of the neighborhood where other one-story homes exist. The proposed residential addition is to the rear of the property and will not change the front street view and overall look of the residence. The nonconforming use of the property will continue but it will be improved by providing off-street parking.

The property is a corner lot and the proposed garage is in the rear half of the property which will be accessed through Tyler St. The front of the property is a lawn that will remain. Based on the existing conditions of the property, a residential addition to an existing house that is part of a duplex and a double car garage with tandem parking for two vehicles appears adequate and meet the intent of the San Pablo General Plan.

FINDINGS

- A. That the granting of the Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.
- B. That the project is exempt from provisions of CEQA, consistent with CEQA guidelines Section 15301, Existing Facilities, Class 1(e), Addition to existing structure.
- C. That the proposed project complies with the development standards of the R-1 Single-family Residential zoning district.
- D. That the proposed project incorporates the policies established in the General Plan and Housing Element regarding providing additional housing to meet the community needs.
- E. That public notice of the hearing has been given by mail to the applicants, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

ENVIRONMENTAL DETERMINATION

This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure. Class 1(e) consists of additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structured before the addition, or 2,500 square feet. The proposed residential addition is covered under this exemption.

PUBLIC HEARING NOTICE

Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on October 10, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, October 13, 2018.

ATTACHMENTS:

A: Resolution 18-13

B: Plans (Site Plan, Floor Plan, Elevations)

C: Color and material page

D: Pictures

E: Proof of Publication from West County Times

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RESOLUTION 18-13

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN PABLO APPROVING A CONDITIONAL USE PERMIT TO EXPAND AN EXISTING NONCONFORMING DUPLEX IN A SINGLE-FAMILY ZONING DISTRICT BY ADDING 222 SQ. FT. OF LIVING AREA TO ONE OF THE UNITS, AND TO ALLOW TANDEM PARKING FOR TWO VEHICLES IN ORDER TO ACCOMMODATE THE REQUIRED FOUR (4) OFF-STREET PARKING SPACES AT 1715/1719 DOVER AVENUE, CA (APN: 411-222-013).

WHEREAS, Zoning Code Section 17.16.070(B) states that all projects with multiple approvals shall be processed concurrently, and final action shall be taken by the highest level designated approving authority for all such requested permits;

WHEREAS, staff received a Conditional Use Permit application, PLAN 1808-0009, requesting approval of a Conditional Use Permit to expand an existing nonconforming duplex by adding 222 sq. ft. of living area to one of the units and to allow tandem parking for two vehicles; and

WHEREAS, Section 17.08.030(A) Nonconforming Uses state that a nonconforming use may be continued but the use shall not be enlarged unless it is allowed by a use permit; and

WHEREAS, Section 17.08.050 Nonconforming parking states that where any nonconforming use or structure is allowed to be expanded, changed or replaced, the new structure or use shall comply with the current parking requirements in Chapter 17.54, Parking and Loading; and

WHEREAS, the Planning Commission shall make findings that the establishment, maintenance or operation of the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City; and,

WHEREAS, the proposed design is consistent with the General Plan, Zoning Ordinance development standards, parking and landscaping requirements, fosters the harmonious development and preservation of the public health and welfare of the City and its neighborhoods, and the architectural design and colors of the proposed residence are visually harmonious with the surrounding development, landforms, and vegetation, and additionally the proposed use, together with the conditions applicable hereto, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and

WHEREAS, tandem parking creates four off-street parking spaces, which is the requirement for a duplex; and

WHEREAS, this project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1 (e) addition to an existing structure; and

WHEREAS, a public hearing notice has been given by mail to the applicant, local affected agencies and to all property owners within 300 feet of the subject property, and has been published in the East Bay Times in accordance with the requirements of Government Code Section 65091 and a public hearing held on October 23, 2018, at which public testimony was considered.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of San Pablo has reviewed the proposed project and approves this proposal, based on the following findings:

- A. That the granting of this Conditional Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The General Plan land use designation is Single Family Residential. The zoning for the site is R-1, Single-family residential, which implements the General Plan land use designation. Staff finds the request to expand one of the units of the existing nonconforming duplex and, allow tandem parking, appropriate for the design of the neighborhood because the existing neighborhood has similar designed homes and the existing duplex was built in 1943 before the city was established. For these reasons, granting of this Use Permit will not, under the circumstances of the particular case, materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicants and will not, under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

That the project is exempt from provisions of CEQA, consistent with CEQA guidelines Section 15301, Existing Facilities, Class 1(e), addition to an existing structure.

The project has been determined to be exempt under CEQA, Section 15301, Existing Facilities, Class 1(e), addition to existing structure. Class 1(e) consists of additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structured before the addition, or 2,500 square feet. The proposed residential addition is covered under this exemption.

- B. The granting of the Design Review will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

The proposed residential addition and double car garage with tandem parking for two vehicles adheres to the development standards of the R-1 zoning district. The detached double car garage with tandem parking provides off-street parking for this property. The materials used for the residential addition will be consistent with the existing house and complementary to the neighborhood. For this reason, granting the Design Review

will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

- C. The proposed project complies with the development standards of the R-1 Single-family Residential zoning district for the new addition.

The proposed addition and proposed detached garage adhered to the development standards of the R-1 zoning district. The front, side, and rear yard setbacks meet the established setbacks. Additionally, the height of the proposed addition adheres to the height limit of 27 feet. The proposal is to construct a residential addition and a detached two car garage, creating tandem parking with two parking spaces in the driveway, complies with the parking standard for two off-street parking spaces per single family home.

- D. The proposed project incorporates the policies established in the General Plan and Housing Element regarding providing additional housing to meet the community needs.

The proposal to construct a 222 sq. ft. residential addition provides the opportunity for a household to occupy a three-bedroom, two-bathroom home that has a detached garage. The design is complimentary to the existing neighborhood, uses quality materials, and meets the development standards of the R-1 zoning district. Two covered parking spaces and two parking space in the driveway establishes the required four off-street parking spaces for this existing nonconforming duplex.

- E. Public notice of the hearing has been given by mail to the applicants, local affected agencies, all property owners within 300 feet of the subject property, and has been published in the East Bay Times, in accordance with the requirements of Government Code Section 65905.

Notices were mailed to owners of properties within a 300-foot radius of the site. The notices were mailed on Wednesday, October 10, 2018. In addition, a Public Hearing Notice was published in the East Bay Times newspaper on Saturday, October 13, 2018.

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Pablo hereby approves PLAN1808-0009, a Conditional Use Permit and Design Review, based upon the following Conditions of Approval.

1. The Conditional Use Permit shall become null and void after one year of the Planning Commission's effective date of approval unless a building permit has been issued and normal construction progress has been made.
2. Minor modifications to this Conditional Use Permit may be granted by the Zoning Administrator, if the proposed changes generally comply with the intent of the Use Permit.
3. Obtain all necessary City of San Pablo Building and Public Works permits, and submit payment of fees and agency permits and approval from water, waste, fire and the school district for any proposed work.

4. Plans submitted for building permits and all subsequent construction shall be in substantial compliance with plans prepared by Caridesigns Architecture. Submitted to the City of San Pablo on September 24, 2018, consisting of the Site Plan, Floor Plan and Elevations, subject to the following conditions:

As noted on the plans, the exterior materials shall be plaster wall and composition shingle roofing. The color for the addition and the garage is to match the existing house. The garage door and windows are to be white with white wood trim.

5. The maximum lot coverage shall be 45.0%, the Planning Division will review construction drawings during Plancheck and will verify that the lot coverage does not exceed 45.0%.
6. Indemnification: Pursuant to Government Code Section 66474.9, the applicant (including any agent thereof) shall defend, indemnify, and hold harmless the City of San Pablo and its agents, officers, or employees from any claim to attack, set aside, void or annul, the City's approval concerning this planning application, which action is brought within the time period provided for in Section 66499.37. The City will promptly notify the applicant of any such claim, action, or proceeding and cooperate fully in the defense.
7. Any relocation of utilities as a result of this approval shall be at no expense to the City of San Pablo.
8. Construction activity shall be limited to between the hours of 7:00 A.M and 6:00 P.M Monday through Friday and from 9:00 A.M to 5:00 P.M on Saturday. Construction is not permitted on Sundays, and federal holidays.
9. Property lines must be established by land surveyor and clearly identified before foundation inspection.
10. No ground openings are allowed less than three (3) feet from property line.
11. When submitting for a building permit ensure all plans and documents, as required by the city are included in the packet.
12. Plans must indicate fire sprinklers are under a separate permit through Contra Costa Fire Prevention District.
13. The property shall be free of all debris during construction. All scrap materials shall be stored in a container and shall be removed regularly.
14. The plans shall be designed using the 2016 California Building, Mechanical, Electrical, Plumbing, Fire and Energy Codes.
15. Submit a Drainage Plan at the time plans are submitted for building permit issuance. Call out any storm water conveyance materials that will be used and show the slope (i.e. piping).

Drainage/runoff shall not be conveyed across property lines, including street frontage and driveway, and should be directed to 3-inch deep concaved landscaped areas at a 2:1 ratio (impervious to pervious) on site or piped to the street gutter (per City Standard detail SD-02) through a cross drain, in which case a curb-drain permit is required. Rain gutters and downspouts shall be installed on all subject structures. Downspouts shall be sloping away from the building with splash blocks/energy dissipaters.

- A. Mark off the area of impervious roof diverted to each downspout. Show each new roofing area separately. Mark off the vegetated areas. Show each area separately. Call out each new roofing area separately showing which vegetated area it will drain to. Make a table showing the ratio of impervious to pervious areas. This shall be included in the construction plans for plan check submittal and approval.
 - B. Must not exceed the 2:1 ratio when draining to vegetated areas. Vegetated areas must be 50% of the new roofing or impervious area (including concrete, etc.).
 - C. Add the slopes of any vegetated areas showing that all storm water will stay onsite.
16. Note that building on the City right-of-way line (ROW) is prohibited. Show City ROW limits on site plan. Any currently existing structures in the city ROW may either be removed immediately or stay until the city deems it necessary to use the ROW at which point the structures must be removed.
17. Driveway locations shall be per City Std. detail SA-01 and SA-02, and shall be a maximum of 12 feet in width. Installation and replacement of driveway ramps shall be per City Std. detail SA-04. 19.
18. City inspector may require sidewalk repair in conjunction with future construction.
19. The Contra Costa County pollution prevention plan sheet (full size) must be included in the construction plan set for plan check submittal and approval.
20. Storm drains must be protected from construction debris and materials. Include any storm drains located in or around your project on plans and call out the use of proper BMPs located on the City of San Pablo's website. <http://www.sanpabloca.gov/index.aspx?nid=1262>
21. The construction of any new structure must comply with CALGreen requirements for construction and demolition (C&D). At least 65% of nonhazardous C&D materials generated must be recycled and/or salvaged for reuse. All forms are found in the attached "San Pablo C&D Form." The "Pre-Construction Waste Management Plan (WMP) Instructions" shall be completed and return to the city when the permit application is submitted. The Building Department will not issue permits unless the form is completed. The "Post Construction Waste Management Report" form and weight receipts must be completed and returned prior to the final inspection for occupancy.
22. Exterior fencing shall be at the property line and shall comply with section 17.45 Fences,

Walls, Gates, and Screening, of the Zoning Ordinance.

BE IT FURTHER RESOLVED that the foregoing recitations are true and correct, and are included herein by reference as findings.

Adopted this 23rd day of October 2018, by the following vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

ATTEST:

APPROVED:

Charles Ching
Secretary

Rita Xavier
Chairperson

GENERAL NOTES

- ALL WORK AND MATERIALS TO CONFORM TO THE REQUIREMENTS OF LOCAL AND STATE CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND/OR APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION WHERE THE PROJECT IS LOCATED. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS AND CONFORM WITH THE ARCHITECT FOR CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION BEFORE BEGINNING ANY WORK. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS GOVERN.
- CURRENT APPLICABLE CCODES: 2016 CALIFORNIA BUILDING CODE; 2016 CALIFORNIA RESIDENTIAL CODE; 2016 CALIFORNIA MECHANICAL CODE; 2016 CALIFORNIA ELECTRICAL CODE; 2016 CALIFORNIA PLUMBING CODE; 2016 CALIFORNIA GREEN BUILDING CODE; 2016 CALIFORNIA ENERGY CODE AS APPLICABLE AND AMENDED BY THE CITY OF SAN PABLO.
- THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE PLANS AND SPECIFICATION INFORMATION.
- THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INFORMATION PROVIDED WITHIN THIS SET OF DRAWINGS, DIMENSIONS, STRUCTURAL INTEGRITY, CODE LIABILITY, FIXTURE OR EQUIPMENT SPECIFICATIONS, MATERIAL SPECIFICATIONS, OR ANY OTHER WORK DESCRIBED WITHIN THESE DRAWINGS WERE NOT VERIFIED OR SPECIFIED BY THE ARCHITECT. BY UTILIZING THESE DRAWINGS, THE OWNER, ANY FUTURE OWNER, LESSEE, CONTRACTOR, ALL SUB-CONTRACTORS, AND ANY OTHER PARTY AFFILIATED WITH THE WORK WAIVE ANY RIGHT TO TAKE ACTION AGAINST THE ARCHITECT REGARDING ANY INFORMATION PROVIDED WITHIN THESE DRAWINGS.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY WORK, OR FOR FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- THE FOLLOWING SET OF DRAWINGS IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF CARIDESIGNS, WHETHER THE PROJECT IS EXECUTED OR NOT. NO CHANGES, ALTERATIONS, OR DELETIONS MAY BE MADE HERETO EXCEPT BY THE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL DIMENSIONS FOR EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. SIMILAR CONDITIONS SHALL BE BUILT IN ACCORDANCE WITH THE INFORMATION SHOWN, SUBJECT TO THE OWNER'S APPROVAL. CONTRACTOR SHALL NOTIFY THE OWNER OF ALL CONFLICTING OR MISSING INFORMATION PRIOR TO COMMENCING WORK.
- ALL FINISHES, ELECTRICAL OR MECHANICAL EQUIPMENT, OR OTHER EXISTING CONSTRUCTION THAT IS DAMAGED IN THE COURSE OF CONSTRUCTION IS TO BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR DETERMINATION AND EXECUTION OF THE METHODS OF CONSTRUCTION AND FOR ALL SAFETY PRECAUTIONS TAKEN DURING CONSTRUCTION. VISITS BY THE STRUCTURAL ENGINEER WILL NOT INCLUDE INSPECTION OF THE MEANS OF CONSTRUCTION.

ADDITIONAL PERMITS

THIS APPLICATION REQUIRES APPLICANT TO OBTAIN SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL PERMITS (AS APPLICABLE) TO THIS PROJECT. THEY ARE NOT INCLUDED WITH THE BUILDING PERMIT APPLICATION.

ABBREVIATIONS

A.D.	Area Drain	LAM.	Laminated
ADJ.	Adjustable	LAV.	Lavatory
A.F.F.	Above Finish Floor	L.P.	Low Point
AGGR.	Aggregate	MECH.	Mechanical
ARCH.	Architectural	MIN.	Minimum
ASPH.	Asphalt	MTL	Metal
BLDG.	Building	(N)	New
BLKG.	Blocking	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
BW	Bottom of Wall	OBS.	Obscure
CPT.	Carpet	O.C.	On Center
CAB.	Cabinet	O.D.	Outside Diameter
C.J.	Construction Joint	OPNG	Opening
C.L.	Center Line	P.LAM.	Plastic Laminated
Clos.	Closet	P.L.	Property Line
CLG.	Ceiling	P.L.	Steel Plate
CLR.	Clear	P.W.	Plywood or P.W.
C.O.	Clean Out	PT.	Point
COL.	Column	QTY.	Quantity
CONC.	Concrete	R.	Radius
CONT.	Continuous	RET.	Retaining
CSMT.	Casement	R.D.	Roof Drain
C.T.	Ceramic Tile	REF.	Refrigerator
C.S.	Counter Sink	REG.	Register
DEMO	Demolition	RENF.	Rimmed
DET.	Detail	REQD	Required
D.H.	Double Hung	R.O.	Rough Opening
D.F.	Douglas Fir	R.WD.	Redwood
DIAG.	Diagonal	R.W.L.	Rain Water Leader
DIM.	Dimension	SAG	Supply Air Grill
DWGS.	Drawings	S.V.	Sheet Vinyl
DN.	Down	S.H.	Single Hung
DS	Downspout	SHT.	Sheet
(E)	Existing	SIM.	Similar
E.J.	Expansion Joint	SM.	Sheet Metal
EQ.	Elevation	SQ.	Square
EL.	Equal	S.S.D.	See Structural Drawings
EXT.	Exterior	S.S.	Stainless Steel
F.D.	Floor Drain	STD.	Standard
F.F.	Finish Floor	STL.	Steel
FPH.	Finish	STRUC.	Structural
F.O.C.	Face Of Concrete	T.	Tread
F.O.S.	Face Of Stud	T.C.	Top Of Curb
F.O.W.	Face Of Wall	TEMP.	Tempered Glass
FTG	Footing	T.J.	Truss Joint
GA.	Gauge	T.O.	Top Of
GALV.	Galvanized	T.O.C.	Top Of Concrete
GWB	Gypsum Wall Board	TYP.	Typical
GL	Glass	T.W.	Top Of Wall
GLU. LAM.	Glue Laminated	TS	Tube Steel
G.S.M.	Galv. Sheet Metal	U.O.N.	Unless Noted Otherwise
H.B.	Hot Bib	VERT.	Vertical
HGT.	Height	V.I.F.	Verify In Field
H.M.	Hollow Metal	W.	With
HOR.	Horizontal	W.C.	Water Closet
H.P.	High Point	WD.	Wood
ID.	Inside Diameter	WH	Water Heater
INSUL.	Insulation	WP	Work Point
INT.	Interior	W.P.T.	Work Point
J.BOX	Junction Box	YD.	Yard
JT.	Joint		

Room Name

100

Room Number

1

Door Symbol

A

Window Symbol

Elevation Reference (drawing # sheet #)

Section Reference (drawing # sheet #)

Datum or Elevation Point

Grid Line

Detail Reference (drawing # sheet #)

Room Name

100

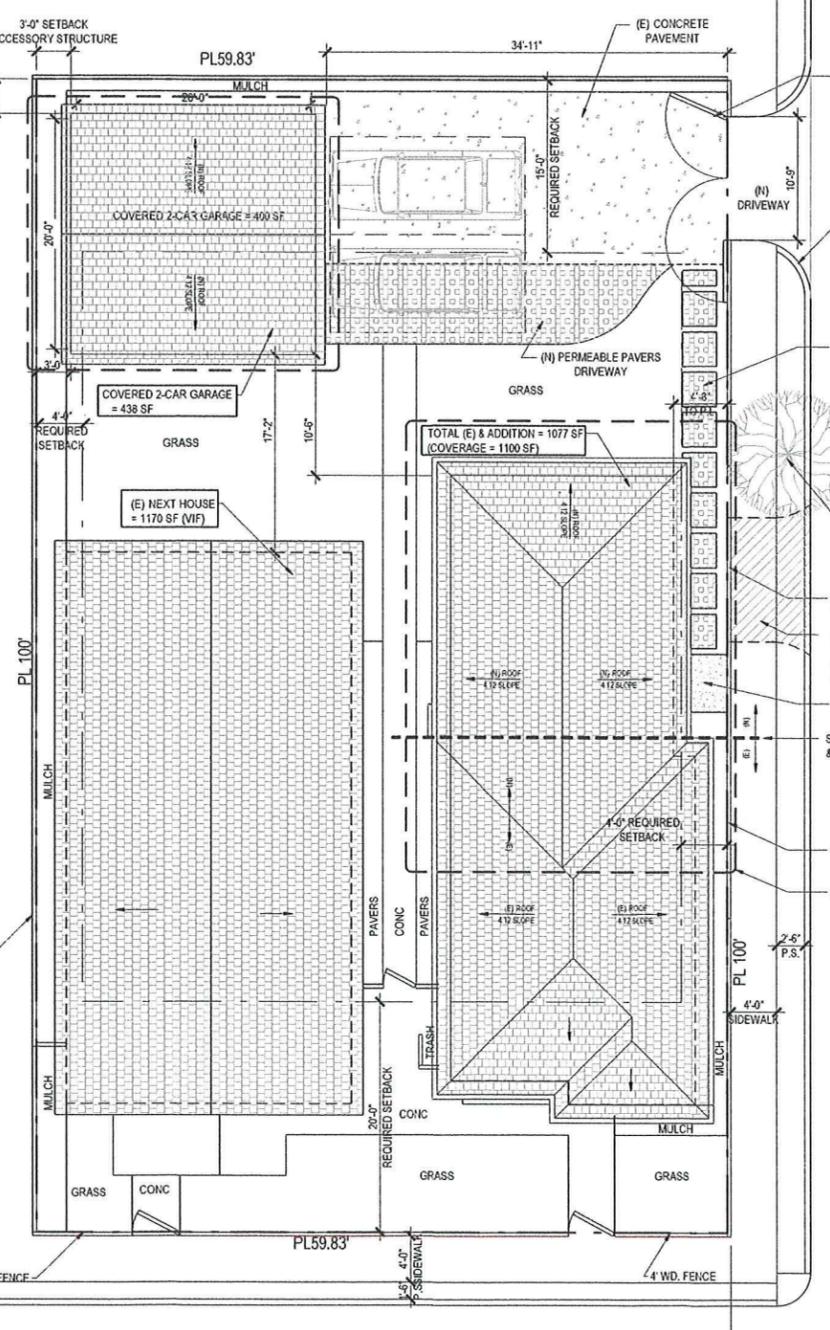
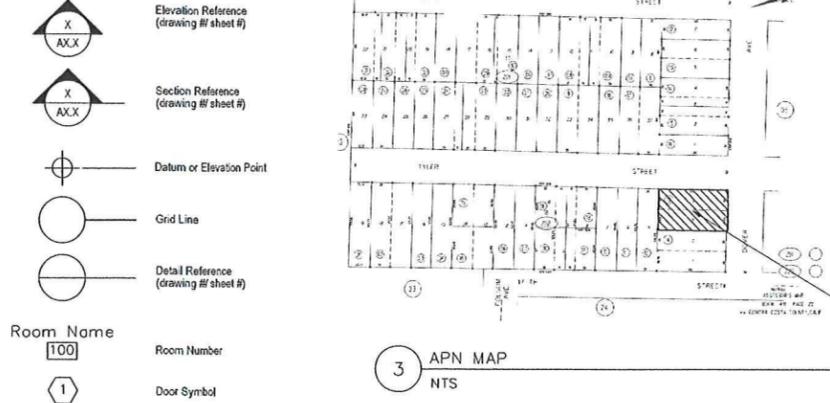
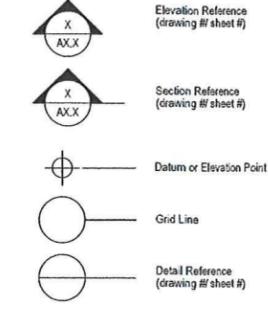
Room Number

1

Door Symbol

A

Window Symbol



2 PROPOSED SITE PLAN
1/8"=1'-0"

DRAWING LIST

ARCHITECTURAL

- A0.1 COVER SHEET, SITE MAP
- A1.0 (E) & DEMO PLAN, AND ELEVATIONS
- A2.0 PROPOSED PLANS & ELECTRICAL PLAN
- A3.1 PROPOSED BUILDING ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS & DETAILS
- A4.0 WINDOW & DOOR SCHEDULES & DETAILS
- A6.0 POLLUTION CONTROL
- A6.1 CALGREEN

T24 TITLE 24 REPORT
T24-M MANDATORY MEASURES

PROJECT INFORMATION

PROJECT ADDRESS:
APN: 411-222-013-4
1715-1719 DOVER AVE
SAN PABLO, CA 94806
SDC: E

OCCUPANCY CODE: TYPE R-3
CONSTRUCTION TYPE: TYPE V B
ZONING DISTRICT: R-1

LOT SIZE: 6000 SF
EXISTING BUILDING SF: 655 SF
EXISTING DEMO SF: 262 SF
EXISTING TO REMAIN SF: 603 SF
WORK AREA SF: 474 SF

PROPOSED ADDITIONAL SF: (474-252) SF = 222 SF

TOTAL SF: 1,077 SF

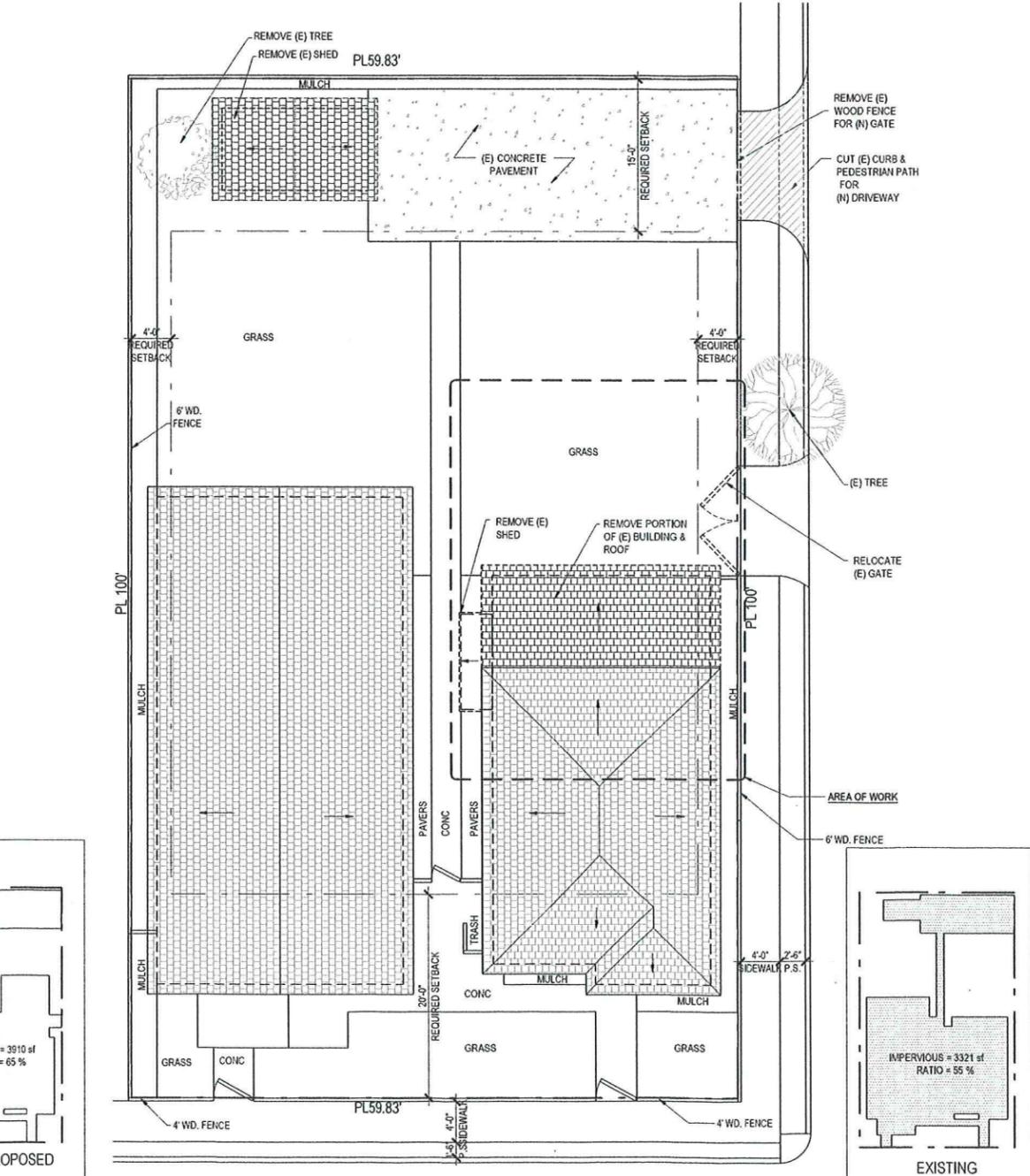
LOT COVERAGE: MAX: 45 %
(E) 2,141 / 365 %

(N) GARAGE BUILDING: 436 SF
(N) ADDTL (E): 1100 SF
(E) NEXT HOUSE: 1170 SF
TOTAL: 2706 SF
(P): 2,708 / 45 %

PARKING: 4 =
2 COVERED PARKING
2 UNCOVERED PARKING

SCOPE OF WORK

- DEMO (E) BEDROOM AND ROOF @ REAR BUILDING.
 - ADD 222 SF ADDITION TO (E) BUILDING.
 - ADD NEW (2) BEDROOMS, (1) BATHROOM, LAUNDRY AREA & HALL.
 - ADD NEW OUTDOOR SHED FOR (E) WATER HEATER
 - ADD NEW DETACHED GARAGE
 - ADD (4) DOORS, (6) WINDOWS @ NEW ADDITION.
 - (N) LIGHTING/ELECTRICAL @ NEW ADDITION.
 - (N) PLUMBING @ (N) BATHROOM & LAUNDRY AREA.
 - (N) ROOF @ NEW ADDITION, CONNECTING TO (E) ROOF.
 - RELOCATE OUTDOOR (E) WOOD GATE.
- ARCHITECT:** CARIDESIGNS ARCHITECTURE
CARI ROSNER JELEN
2869 TELEGRAPH AVE SUITE 204
BERKELEY, CA 94705
510-461-0768
- MEP:** DEES DESIGN & ENGINEERING
1419 FRANCIS STREET
CROCKETT, CALIFORNIA 94525
510-491-2009
brooks@deesdesignengineering.com
- OWNER:** JIMMIE FIGUEROA
1715-1719 DOVER AVE
SAN PABLO, CA 94805
(510) 685-5419 CELL



1 (E) & DEMO SITE PLAN
1/8"=1'-0"

caridesigns
ARCHITECTURE
CARI ROSNER JELEN ARCHITECT

510-467-0768
cari-designs.com

DWELLINGS + EDIFICES + DETAILS

architect's stamp:



address:

1715-1719 DOVER AVENUE
SAN PABLO, CA 94806

project:

HOUSE ADDITION

revisions:

#	REVISION	DATE

sheet name: COVER SHEET

drawn by: CRJ/MP

date: 09-24-2018

drawing number:

A0.1

ATTACHMENT B

LEGEND

	(E) WALL
	(E) WALL TO BE REMOVED
	OVERHEAD CONSTRUCTION

DEMOLITION NOTES

A- CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF ALL ELEMENTS OF THE BUILDING BEFORE DOING ANY WORK ON OR DEMOLITION TO THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BRACE OR STRENGTHEN ANY PORTIONS OF THE STRUCTURE THAT MAY BE WEAKENED BY DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND PRESERVATION OF EXISTING CONSTRUCTION NOT STATED FOR DEMOLITION.

B- ALL DEMOLITION AND REMOVAL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS, INCLUDING 3.6.0, CHAPTER 44 AND A.N.S.I. A10.6-1983 'SAFETY REQUIREMENTS FOR DEMOLITION' THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR IDENTIFYING, TESTING AND DISPOSING OF ANY HAZARDOUS MATERIALS ENCOUNTERED IN THE DEMOLITION PROCESS IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS.

C. REMOVAL OF ANY ITEM LISTED ON THE DEMOLITION SCHEDULE SHALL INCLUDE ALL COMPONENTS ASSOCIATED WITH THAT ITEM. 'REMOVE DOOR' INCLUDES DOOR, HARDWARE, TRIM, SILL FLASHING, ETC. UNLESS OTHERWISE NOTED. 'REMOVE EXTERIOR WALL' INCLUDES FRAMING, SHEATHING, EXTERIOR FINISH INTERIOR FINISH AND FOUNDATION UNLESS OTHERWISE NOTED.

D. CONTRACTOR SHALL VERIFY WITH OWNER ANY ITEM TO BE SALVAGED AND REUSED. DAMAGE TO ANY SUCH ITEM WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

E. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS.

G. REMOVAL OF WALL FINISHES, FLOOR FINISHES, AND CEILING FINISHES SHALL INCLUDE ALL MATERIAL DOWN TO FRAMING, EXTERIOR SHEATHING OR SUB FLOOR.

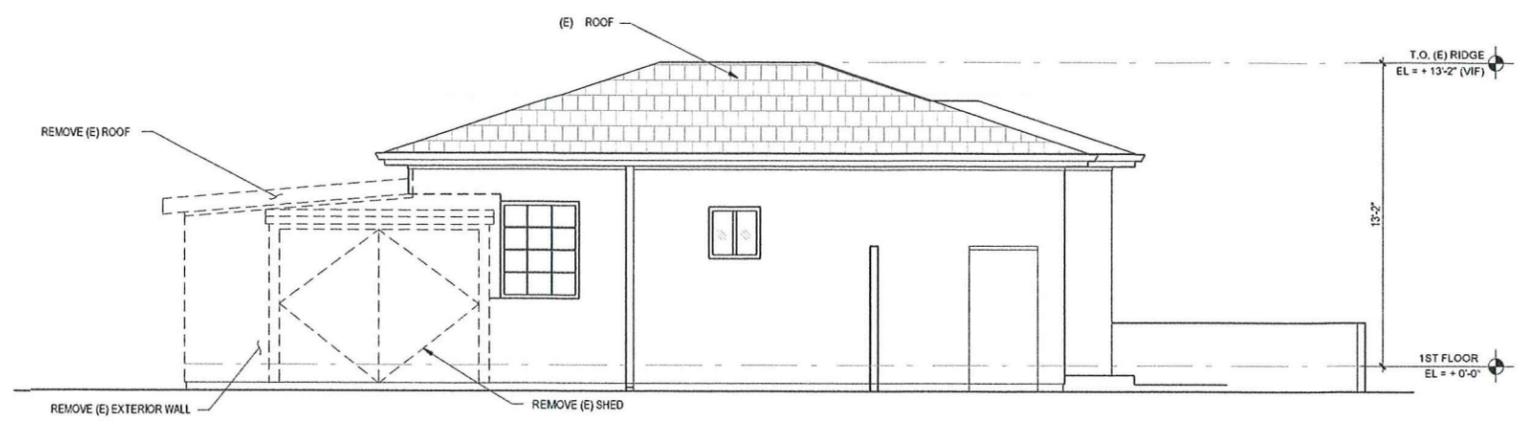
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cari-designs.com

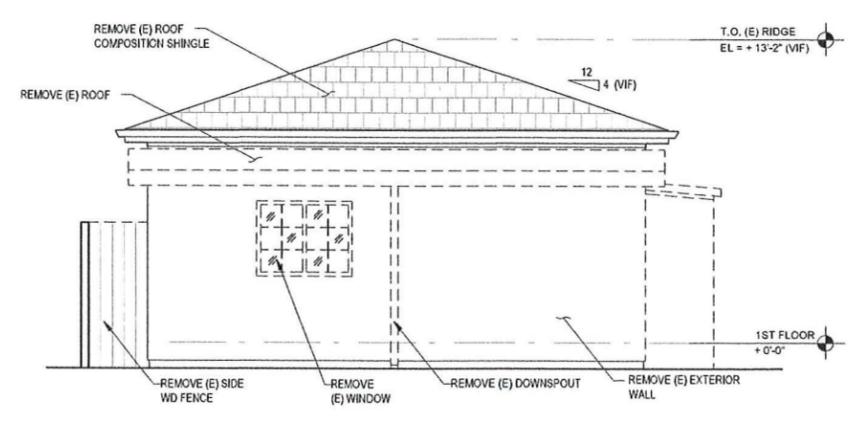
DWELLINGS + EDIFICES + DETAILS

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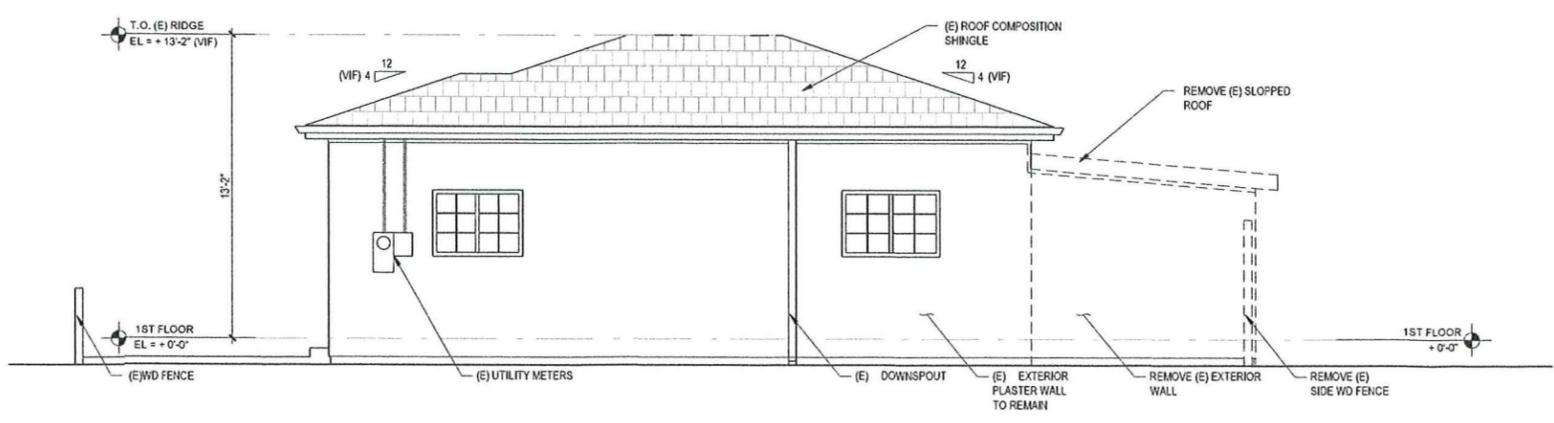
AREA SF
TOTAL EXISTING AREA = 855 SF
TOTAL DEMO AREA = 252 SF
(E) TO REMAIN AREA = 603 SF



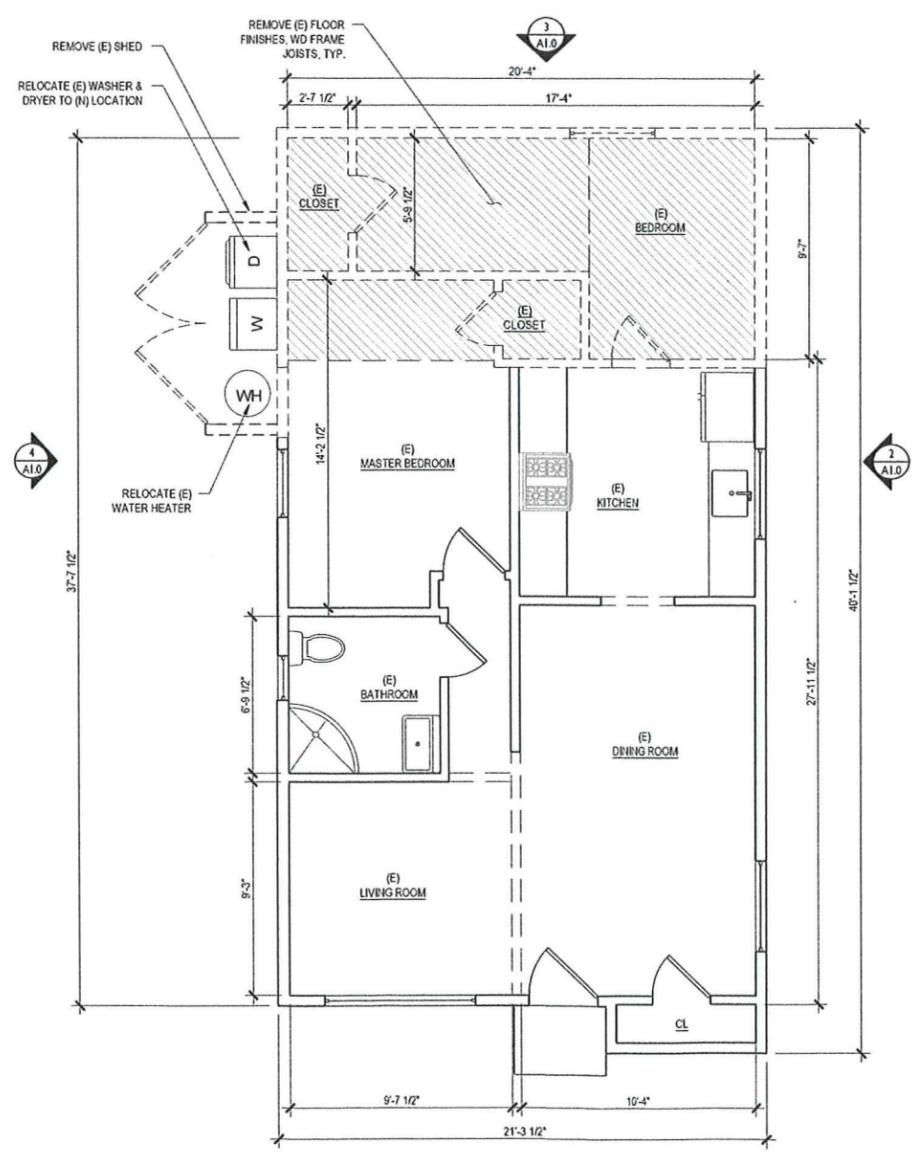
4 EXISTING & DEMO WEST ELEVATION
1/4"=1'-0" NOTE: ALL DIMS ARE VIF



3 EXISTING & DEMO SOUTH ELEVATION
1/4"=1'-0" NOTE: ALL DIMS ARE VIF



2 EXISTING & DEMO WEST ELEVATION
1/4"=1'-0" NOTE: ALL DIMS ARE VIF



1 (E) & DEMO FLOOR PLAN
1/4"=1'-0" NOTE: ALL DIMS ARE VIF

address:
**1715-1719 DOVER AVENUE
SAN PABLO, CA 94806**

project:
HOUSE ADDITION

revisions:

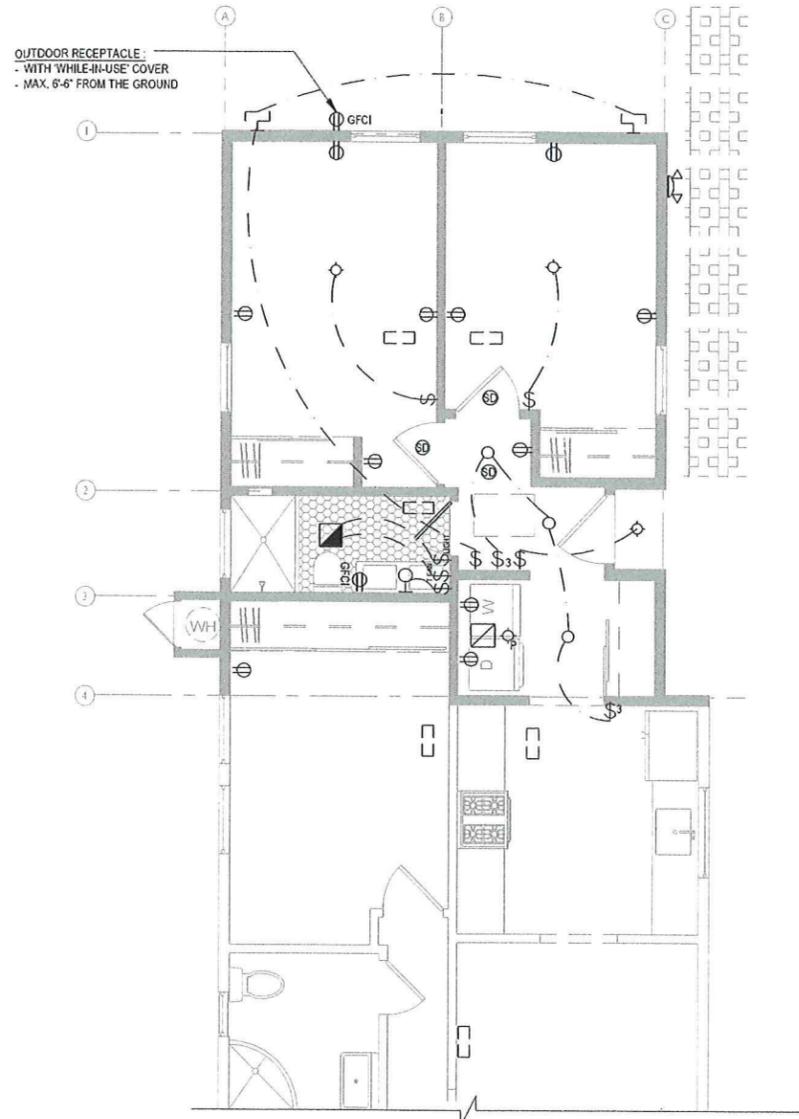
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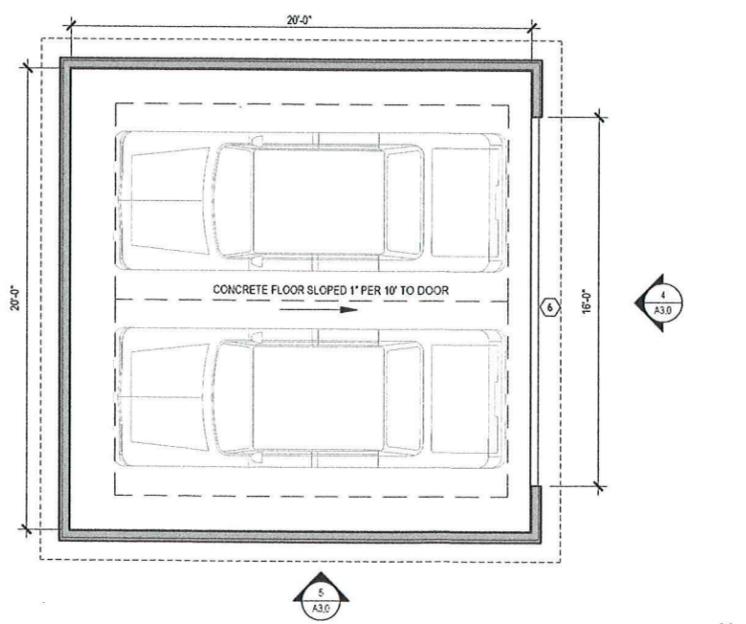
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date: 09-24-2018
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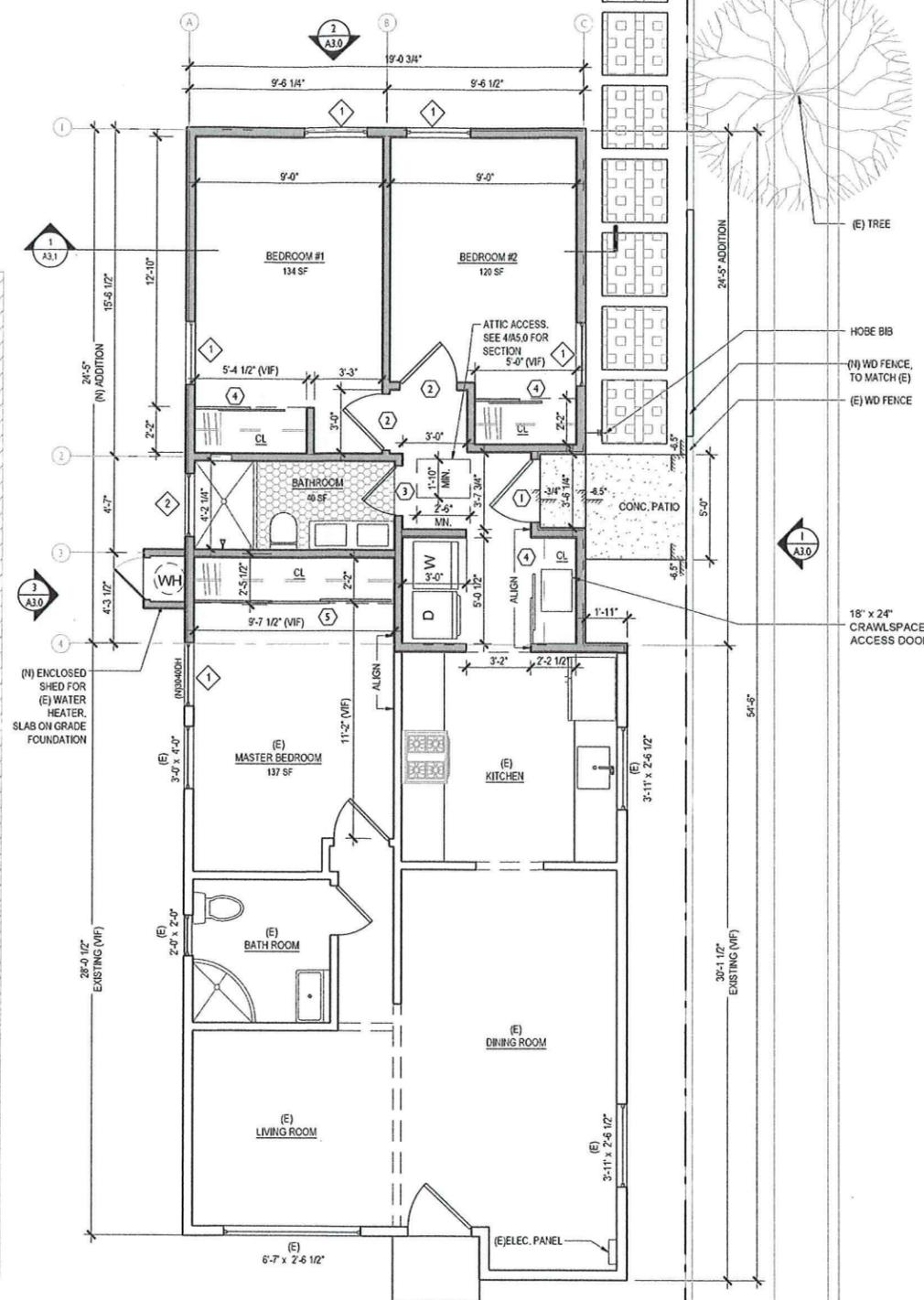
OUTDOOR RECEPTACLE:
- WITH WHILE-IN-USE COVER
- MAX. 6'-6" FROM THE GROUND



3 PROPOSED LIGHTING/ ELECTRICAL PLAN
1/4" = 1'-0" NOTE: ALL DIMS ARE VIF



2 PROPOSED GARAGE PLAN
1/4" = 1'-0" NOTE: ALL DIMS ARE VIF



1 PROPOSED FLOOR PLAN
1/4" = 1'-0" NOTE: ALL DIMS ARE VIF

AREA SF @ MAIN HOUSE

(E) TO REMAIN AREA = 603 SF	WORK AREA = 474 SF
TOTAL EXISTING AREA = 855 SF	TOTAL (P) AREA = 1,077 SF
TOTAL ADDITIONAL AREA = 222 SF	

UNDER FLOOR AREA CALCULATION

CRAWLSPACE AREA:	462 SF
MIN. VENT AREA:	3.1 SF
NET VENT OPENING AREA 4"x14":	0.59 SF
NUMBER VENTS REQ'D:	6

LEGEND

(E) Wall	OUTLET	OUTDOOR SECURITY / MOTION SENSOR LIGHT FIXTURE	HVAC SUPPLY IN CLG.
(N) Wall	GFCI OUTLET	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR (N OR (E))	
DEMO	RECESSED FLUORESCENT OR LED LIGHT	FAN	FAN / LIGHTING COMBINATION
SWITCH	SCONCE TBD	GAS LINE	OUTDOOR LED PACK LIGHT FIXTURE
TIMER SWITCH	LED OR FLUORESCENT CLG MOUNTED LIGHT		
DIMMER	PULL CHAIN - LED OR FLUORESCENT CLG MOUNTED LIGHT		
3-WAY SWITCH			
VACANCY SENSOR			

NOTES :

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL DIMENSIONS FOR EXISTING CONSTRUCTION ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- SMOKE DETECTORS SHALL BE INSTALLED: (A) IN EACH SLEEPING ROOM, (B) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (C) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS: (A) OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S); (B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- ALL (N) WINDOWS TO HAVE MIN. U-VALUE: 0.28, SHGC: 0.2
- ALL EXTERIOR WALL/FLOOR/ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED WITH A MINIMUM OF R-13 (WALL), R-19 (FLOOR), R-30 (ROOF) INSULATION.
- INSTALL WATER RESISTANT GREENBOARD AT ALL BATHROOM WALLS NOT DIRECTLY EXPOSED TO WATER.

VENTILATION NOTES:

- BATHROOM:**
- FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - BATHROOM EXHAUST FAN(S) MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT IN).
 - EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CBCES SEC. 150.0(K)2B)
 - TOILET ROOMS, WHICH ARE NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET, SHALL BE PROVIDED WITH MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CUBIC FEET PER MINUTE. (CPC SEC. R303.3)
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (E.G., BATH FAN, DRYER VENT, ETC.) AT LEAST 3 FEET FROM OPENINGS INTO THE BUILDING. (CMC SEC. 504.5)

- DRYER:**
- MOISTURE EXHAUST DUCT SHALL TERMINATE TO THE OUTSIDE AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO A COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET WITH 2 ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC SEC. 504.3.1)
 - LAUNDRY MAKEUP AIR: A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE LAUNDRY CLOSET DOOR OR BY OTHER APPROVED MEANS. (CMC SEC. 504.3.1)

PLUMBING NOTES:

- TOILETS SHALL BE HIGH-EFFICIENCY OR DUAL FLUSH MODELS RATED AND (THIRD PARTY) TESTED AT A MAXIMUM AVERAGE FLUSH VOLUME OF 1.28 GALLONS PER FLUSH (GPF), AND BE CERTIFIED AS PASSING A 350 GRAM OR HIGHER FLUSH TEST AS ESTABLISHED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY WATERSENSE SPECIFICATION OR OTHER DISTRICT-ACCEPTED THIRD PARTY TESTING ENTITY. NO FLUSH OR CONVERSION DEVICES OF ANY OTHER KIND SHALL BE ACCEPTED.
- SHOWERHEADS SHALL BE INDIVIDUALLY PLUMBED AND HAVE A MAXIMUM RATED FLOW OF 2.0 GALLONS PER MINUTE OR LESS AND BE LIMITED TO ONE SHOWERHEAD PER SHOWER STALL OF 2,500 SQ. INCHES IN AREA OR LESS. INSTALLATION OF FLOW RESTRICTORS IN EXISTING SHOWERHEADS DOES NOT SATISFY THIS REQUIREMENT.
- LAVATORY FAUCETS SHALL HAVE AERATORS WITH A MAXIMUM RATED FLOW OF 1.2 GALLONS PER MINUTE OR LESS @ 60 PSI OR 0.8 @ 200 PSI. PRIOR TO FINAL INSPECTION ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE UPGRADED WITH WATER-CONSERVING FIXTURES AS REQUIRED BY CIVIL CODE SECTION 1101.1.
- A COMPLETED AND SIGNED CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED TO THE AREA INSPECTOR.

ELECTRICAL/LIGHTING NOTES:

- AT LEAST ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20-AMP CIRCUIT FOR EACH INDIVIDUAL BATHROOM BEING ALTERED. BATHROOM LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. (CEC ART 210.11(C))
- AT LEAST ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES. LAUNDRY LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. (CEC ART. 210.11(C)2)
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE PROVIDED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP. (CEC ART. 210.52(D))
- ALL RECEPTACLE OUTLETS IN THE REMODELED BATHROOM(S) AND IN LAUNDRY ROOMS WITHIN 6 FEET OF UTILITY SINK SHALL BE GFCI PROTECTED. GROUND FAULT CIRCUIT INTERRUPTERS SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. (CEC ART. 210.8(A))
- ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ART. 406.12)
- ALL REQUIRED HIGH EFFICACY LUMINARIES FOR RESIDENTIAL LIGHTING SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AND SHALL NOT CONTAIN A MEDIUM SCREW BASE SOCKET.

architect's stamp:



address:

1715-1719 DOVER AVENUE
SAN PABLO, CA 94806

project:

HOUSE ADDITION

revisions:

#	REVISION	DATE

sheet name: PROPOSED PLANS,
ELEC/LIGHTING PLAN

drawn by: FA/MP/CJ

date: 09-24-2018

drawing number:

A2.0

architect's stamp:



address:

1715-1719 DOVER AVENUE
SAN PABLO, CA 94806

project:

HOUSE ADDITION

revisions:

#	REVISION	DATE

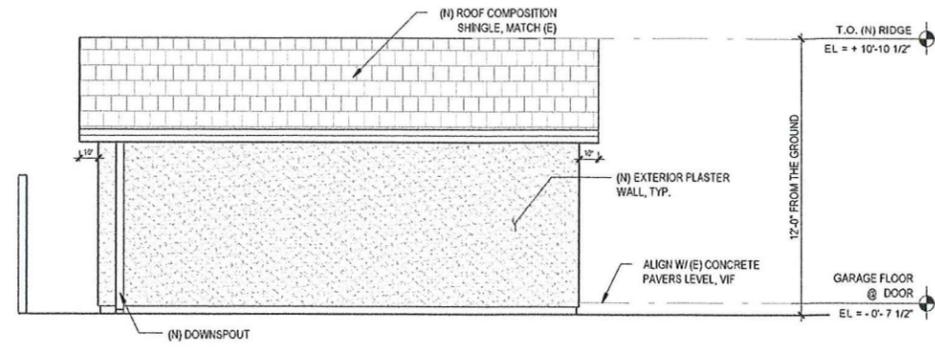
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drawn by: FA/MP

date: 09-24-2018

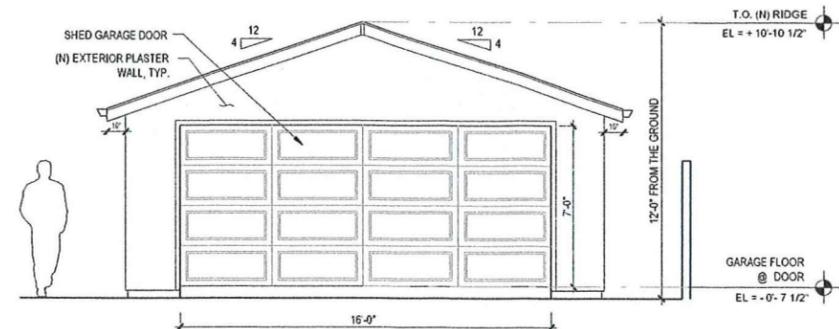
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A3.0



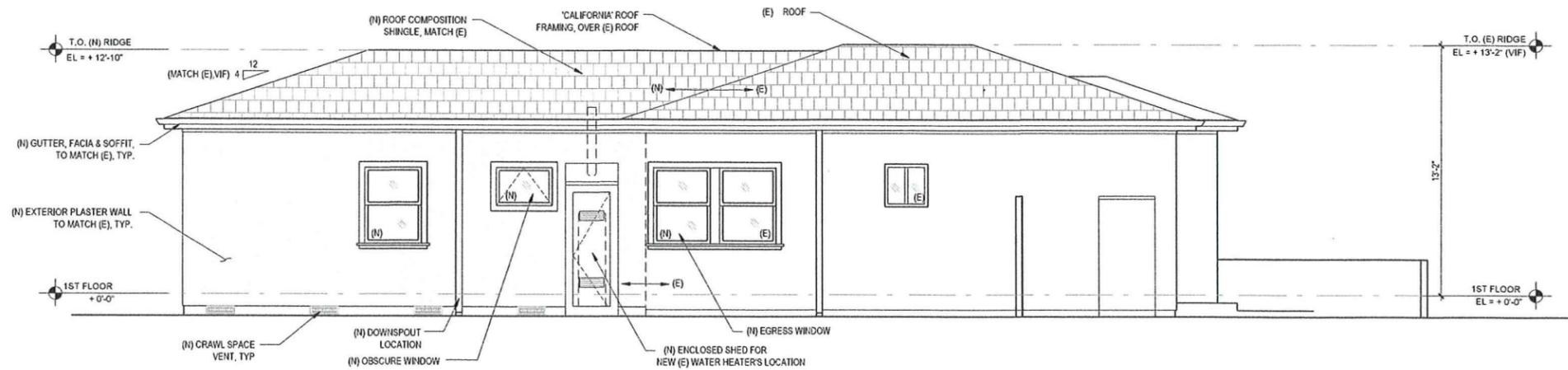
5 PROPOSED SOUTH ELEVATION - GARAGE
1/4"=1'-0"

NOTE: ALL DIMS ARE VIF



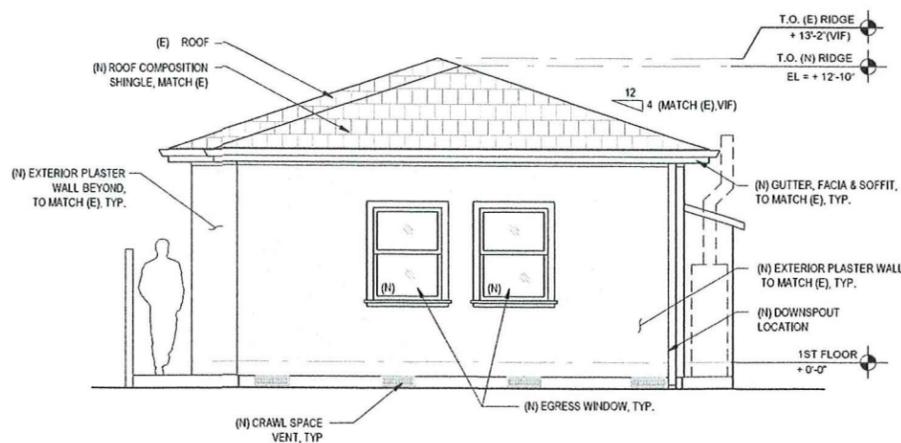
4 PROPOSED WEST ELEVATION - GARAGE
1/4"=1'-0"

NOTE: ALL DIMS ARE VIF



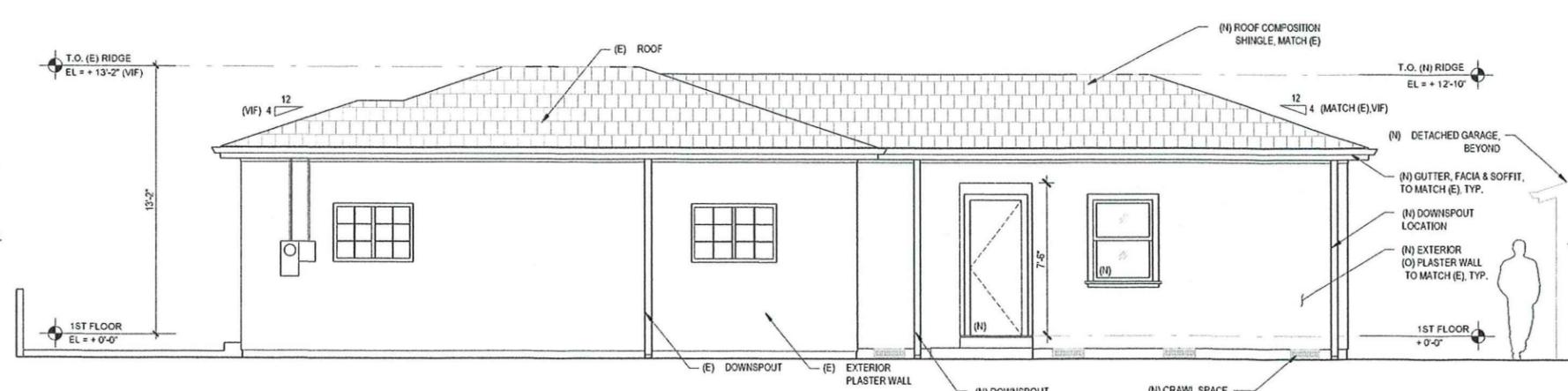
3 PROPOSED EAST ELEVATION
1/4"=1'-0"

NOTE: ALL DIMS ARE VIF



2 PROPOSED NORTH ELEVATION
1/4"=1'-0"

NOTE: ALL DIMS ARE VIF



1 PROPOSED WEST ELEVATION
1/4"=1'-0"

NOTE: ALL DIMS ARE VIF

architect's stamp:



address:

1715-1719 DOVER AVENUE
SAN PABLO, CA 94806

project:

HOUSE ADDITION

revisions:

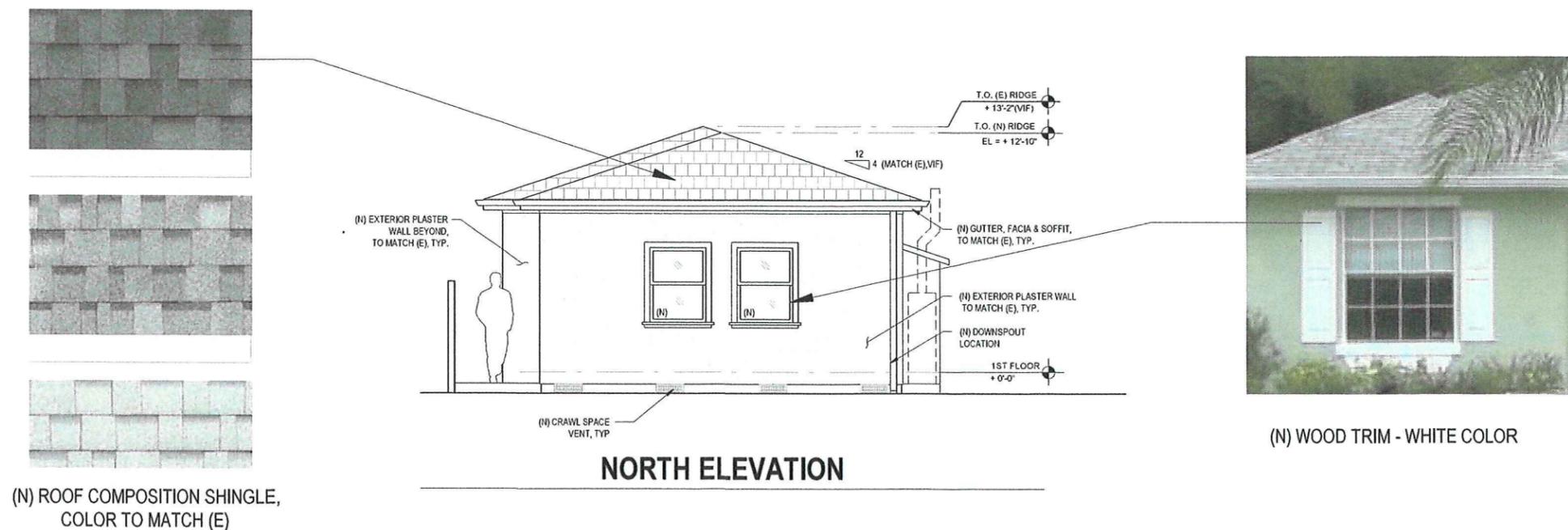
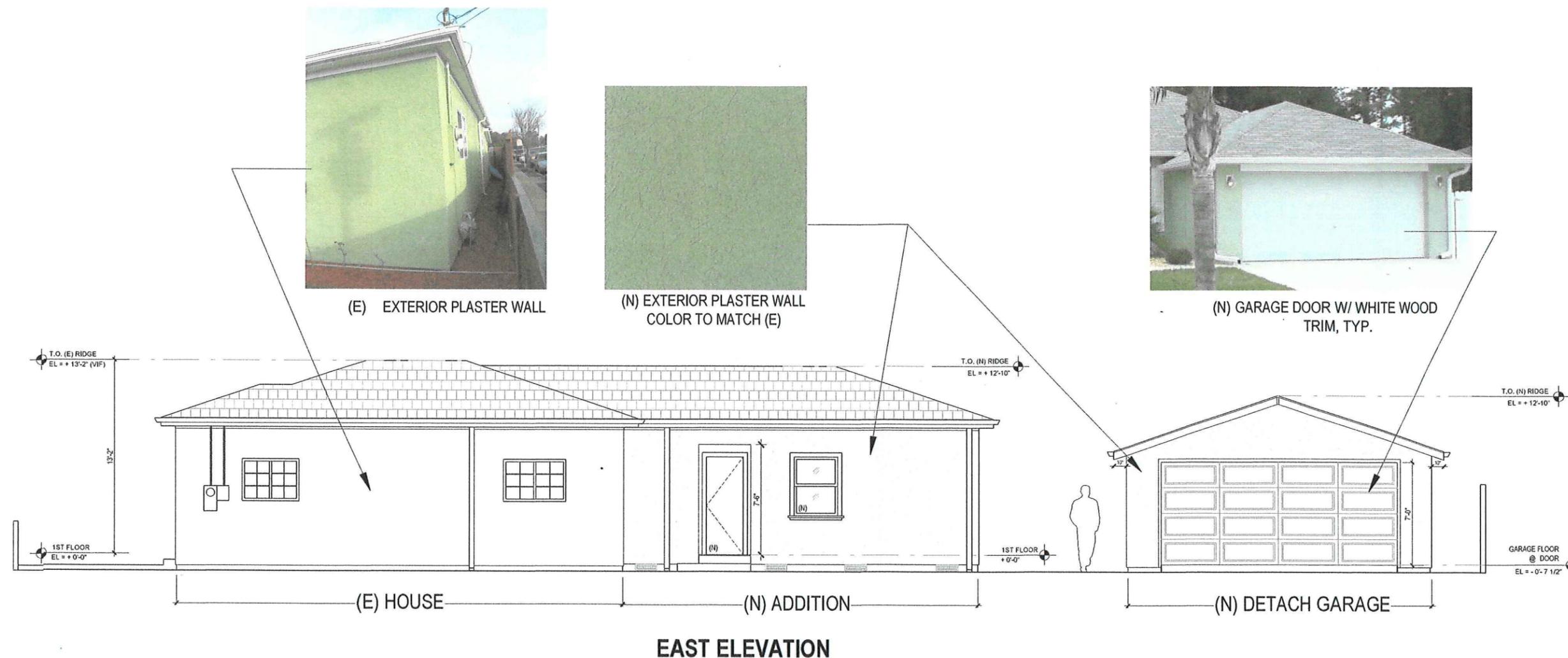
#	REVISION	DATE

sheet name: MATERIAL BOARD

drawn by: MP
date: 09-24-2018
drawing number:

P.2

ATTACHMENT C





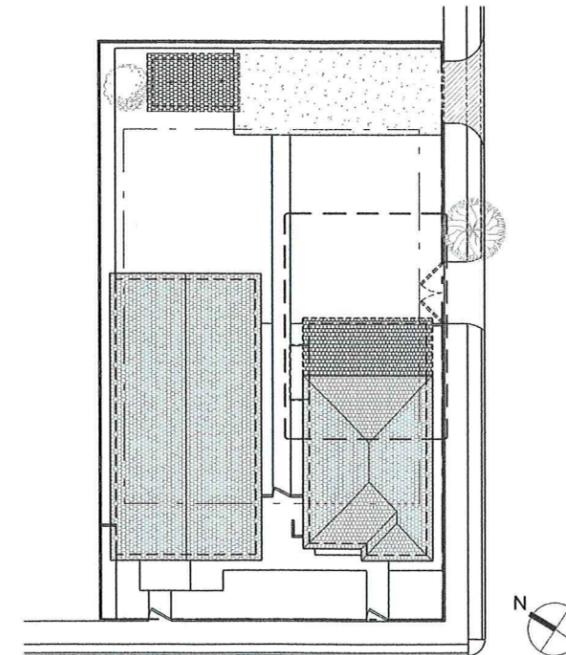
4 (E) FRONT VIEW



3 (E) SIDE VIEW



2 (E) FRONT VIEW



1 (E) SITE PLAN

4
A0.2

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A0.2

architect's stamp:



address:

1715-1719 DOVER AVENUE
SAN PABLO, CA 94806

project:

HOUSE ADDITION

revisions:

#	REVISION	DATE

sheet name: (E) PHOTOS

drawn by: MP
date: 09-24-2018
drawing number:

P.1

West County Times

1050 Marina Way S
Richmond, CA 94804
(510) 262-2740

2015901

SAN PABLO CITY OF
CITY CLERK OFFICE
LEHNY CORBIN
13831 SAN PABLO AV BLDG #1
SAN PABLO, CA 94806

PROOF OF PUBLICATION

FILE NO. October 23 Hearing

In the matter of

West County Times

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter.

I am the Principal Legal Clerk of the West County Times, a newspaper of general circulation, printed and published in the City of Walnut Creek, County of Contra Costa, 94598

And which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Contra Costa, State of California, under the date of August 29, 1978. Case Number 188884.

The notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

10/13/2018

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Executed at Walnut Creek, California.
On this 15th day of October, 2018.



Signature

Legal No.

0006237301



CITY OF SAN PABLO
City of New Directions

CITY OF SAN PABLO NOTICE OF PUBLIC HEARING TUESDAY, OCTOBER 23, 2018

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of San Pablo, State of California, will hold a public hearing on the following items:

PLAN1808-0012: General Plan Amendment To Adopt a Hazard Mitigation Plan. Consideration of the adoption of all of Volume 1 and the City of San Pablo portion of Volume 2 of the Contra Costa County Operational Area Hazard Mitigation Plan Update into the City of San Pablo Safety Element of the General Plan. Adopting this plan allows the City of San Pablo to be eligible to apply for specified grants for disaster mitigation funding from the Federal Emergency Management Agency (FEMA). California State Assembly Bill 2140, passed in October 2006, also allows a local jurisdiction to be eligible for consideration for part or all of its local costs to be provided by through the California Disaster Assistance Act (CDAA). Language in the Hazard Mitigation Plan allows the City of San Pablo to apply for funds for the following hazards of concern: dam failure, drought, earthquake, flood, landslide, severe weather, tsunami, and wildfire. Climate change is incorporated as a summary assessment of current and anticipated impacts for each identified hazard of concern. The Planning Commission will forward a recommendation to the City Council on this matter.

NOTICE IS HEREBY FURTHER GIVEN that in accordance with the California Environmental Quality Act (CEQA), the proposed action is not a project under the California Environmental Quality Act (CEQA) pursuant to Section 15375(b)(5): organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment.

PLAN 1809-0007: Conditional Use Permit. A request for approval of a Conditional Use Permit for tandem parking to allow a 358 sq. ft. residential addition and a 150 sq. ft. deck to an existing single-family house on a lot that is 45 feet wide and 111 feet deep (4,995 square feet) at 1108 Brookside Avenue, San Pablo, Ca (APN 417-010-023). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

PLAN 1808-0009: Conditional Use Permit. A request for approval of a Conditional Use Permit to expand an existing non-conforming use by adding 222 sq. ft. of living area to one unit of an existing duplex and to allow tandem parking for two vehicles in order to accommodate for the required four (4) off street parking spaces at 1715/1719 Dover Avenue, San Pablo, Ca (APN 411-222-013). The property is zoned single family residential (R1). This project is exempt under the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1(e), addition to existing structure.

NOTICE IS HEREBY FURTHER GIVEN that the hearing will be held at the Planning Commission meeting on Tuesday, the 23rd day of October, 2018 at 6:30 p.m. in the City Council Chambers located at One Alvarado Square, 13831 San Pablo Avenue, San Pablo, CA 94806 at which time and place all persons interested may be heard. Questions may be directed to the City of San Pablo Community & Economic Development Department at (510) 215-3030.

NOTE: If you challenge this item in court, you may be limited to raising only those issues raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

If you need Spanish language assistance, please contact the Community & Economic Development Department at (510) 215-3030. Si necesita asistencia en español, por favor contacte al Departamento de Desarrollo Comunitario y Económico al (510) 215-3030.

Elizabeth Dunn, Planning Manager
Community & Economic Development

WCT 6237301 October 13, 2018

Planning Commission Staff Report

PREPARED BY: Elizabeth Dunn, Planning Manager

DATE: October 23, 2018

SUBJECT: PLAN1808-0016: STUDY SESSION ON UPDATES TO THE SAN PABLO ZONING ORDINANCE – REVISING THE LANGUAGE FOR THE AIR QUALITY HEALTH RISK OVERLAY DISTRICT

STAFF RECOMMENDATION

Conduct study session and provide comments.

BACKGROUND

In June 2015, a revised Zoning Ordinance went into effect for the City of San Pablo. This Zoning Ordinance incorporated the land use changes to the City’s General Plan and San Pablo Avenue Specific Plan, which were both adopted in 2011 by the City Council. New zoning designations were established for the City of San Pablo with the adoption of the Zoning Ordinance in 2015.

Over the course of the past few years when using the new Zoning Code, staff has found areas where there are: 1) internal inconsistencies between sections in the Zoning Code; 2) language that could use further clarification; 3) duplication of some information between sections of the Zoning Code; and 4) minor typographic errors. Additionally, there are topic areas in the Zoning Code that can benefit from additional language that clarifies the criteria for the topic, such as the Hillside Overlay zone, or topics that continue to be refined with new language state legislation, such as Accessory Dwelling Units (ADUs).

The purpose of these study sessions is to discuss these more substantive topic areas with the Planning Commission and San Pablo residents in order to help refine and clarify the implementation of the Zoning Code. Over the next few months, a number of topics will be brought to the Planning Commission for discussion. These topics include:

- 1) adding language to the City’s Accessory Dwelling Unit provisions to incorporate the criteria and development standards for smaller ADUs or “Tiny Homes” (discussed August 2018);
- 2) strengthening front yard landscaping provisions (discussed August 2018);
- 3) clarification of residential off-street parking requirements (discussed September 2018); and
- 4) establishing specific development standards for two zoning overlay districts (the Hillside Overlay, and Air Quality Health Risk Overlay).

The topic to be discussed at the October 2018 meeting will be revising the language in Section

17.38.050, the City’s Air Quality Health Risk Overlay district.

DISCUSSION

Language in the City of San Pablo Municipal Code Section 17.38.050, the Air Quality Health Risk Overlay District (D3), is meant to address reducing the risk of toxic air emissions to residents and listed “sensitive receptors” within 500 feet on both sides of Interstate 80. See Attachment 1 for the City of San Pablo General Plan Land Use Map.

The language of Section 17.38.050 is provided below:

17.38.050 Air quality health risk overlay district (D3).

- A. Purpose. The purpose of the air quality health risk overlay district (D3) is to protect sensitive receptors from toxic air emissions, consistent with Bay Area Air Quality Management District guidelines, along the Interstate 80 corridor.
- B. Standards. The following standards apply:
 - 1. Location. The zone extends five hundred feet from Interstate 80 on both sides of the freeway.
 - 2. Restricted Uses. The following uses shall not be located in the district: residential development, parks and other open spaces, schools, child care facilities, senior centers, hospitals, and medical facilities.
 - 3. Mitigation Measures. The City will require new development to provide project-level mitigation measures to reduce vulnerability to toxic air emissions from the freeway.

RATIONALE FOR THE LANGUAGE MODIFICATION

Staff is concerned about the language in Section 17.38.050(B)(2), which prevents new residential development, parks and open space, schools, child care facilities, senior centers, hospitals, and medical facilities from locating adjacent to this corridor, for several reasons:

- 1. Land uses on either side of Interstate 80 are comprised of residential, commercial, or public uses, including schools, open space and parks. Any schools within this area are regulated by the State Architect, and not by the City of San Pablo. The City regulates the development of residential, commercial and non-school public uses. Revised language should distinguish between public schools, which the City cannot regulate, and private schools (religious or charter schools, for example) that the City has the authority to regulate.
- 2. A blanket prohibition on the development of residential, commercial or public institutional uses (excluding public schools) uses without considering some means of mitigation may be unnecessarily restrictive and limiting on how a private property owner can economically use his or her property, which in turn affects the value of the property.

There are very few, if any, vacant or undeveloped lots within the Air District Overlay. The kinds of projects that City staff often review in this area are residential additions.

- 3. The existing language in Section 17.38.050(B) (3) regarding mitigation measures would only apply to new non-residential, commercial or public institutional uses (excluding public

schools), such as commercial or industrial mixed uses. As these uses are not adjacent to Interstate 80, the language in Section 17.38.050(B)(3) does not appear to apply.

In order to understand what language might exist for cities that are adjacent to local freeways, staff reviewed the policy documents – the General Plan and Zoning Ordinance – of the cities of East Palo Alto, Martinez, Richmond, and San Jose. While there were some language in the policy documents for all of these cities, the more appropriate and applicable language is from the cities of Martinez and San Jose. The language that has the most applicability to the City of San Pablo is included below:

City of Martinez, Noise and Air Element

Goal A-G-3: Approval of new construction would include review of sensitive receptors.

Policy A-P-3.1: Review development to identify and mitigation any significant exposure.

Implementation A-I-3.1c: Trees and vegetation shall be required to provide a buffer between sensitive receptors and pollution sources when feasible.

Implementation A-I-3.1e: Review development plans to ensure that operable windows and building intakes are located as far away as possible from pollution sources.

City of San Jose, Environmental Leadership

Goal MS-11 – Toxic Air Contaminants

MS-11.1: Require completion of air quality modeling for sensitive land uses, such as new residential developments that are located near sources of pollution (freeways and industrial uses). Require new residential development projects and projects categorized as sensitive receptors to incorporate effective mitigation into project design or be located an adequate distance from sources of toxic air contaminants (TACs) to avoid significant risks to health and safety.

Staff also reviewed the websites for the Bay Air Quality Area Management District (BAAQMD), and the California Air Resources Board (CARB). There are numerous publications, and documents on these websites, several of which discuss reducing exposure to indoor pollutants from cooking odors, and reducing indoor exposure for residential properties that are adjacent to high trafficked roadways. Summaries from these publications centered on the installation of air cleaning and filtration systems or the use of Minimum Efficiency Reporting Value (“MERV”) filters. The installation of an air cleaning or filtration system or requiring the use of a high MERV rated filter (MERV 16 to 20, or use of a HEPA filter) may not be an appropriate mechanism to assign a condition of approval addressing reducing toxic air contaminants as part of a building permit for most residential or commercial uses. For this reason, staff is not recommending revising the language of Section 17.38.050(B2) and (B3) to require the installation of an air cleaning or filtration systems of the requirement to use a highly rated MERV air filter for an addition to existing residential or commercial uses within the Air Quality Health Risk Overlay District. Staff can prepare educational materials for use at the Front

Counter when working with residents, property owners, business owners or tenants about the benefit of installing a higher rated MERV filter, or installing a more efficient air cleaning, filtration system or furnace.

STAFF RECOMMENDATION

Staff recommends removing the existing language in Section 17.38.050(B)(2) and (B)(3) and using the implementation language discussed above from the City of Martinez, and the language from the City of San Jose regarding Goal MS-11 – Toxic Air Contaminants. This allows the intent of Section 17.35.080 to be incorporated into residential, commercial, and public institutional uses (excluding public schools) without prohibiting these uses, and is more clear in the type of project based mitigation measures that need to be studied. The proposed language to be used for Section 17.38.050(B)(2) and (B)(3) is included below:

Section 17.38.050(B)(2):

Require completion of air quality modeling for sensitive land uses, such as new residential developments, parks and other open spaces, private schools, child care facilities, senior centers, hospitals, and medical facilities that are located near sources of pollution (freeways and industrial uses). Require new residential development projects, and other projects categorized (as listed above) as sensitive receptors to incorporate effective mitigation into project design or be located an adequate distance from sources of toxic air contaminants (TACs) to avoid significant risks to health and safety.

Section 17.38.050(B)(3):

Trees and vegetation shall be required to provide a buffer between sensitive receptors and pollution sources when feasible. Native species, drought tolerant, and fire resistant species are to be installed.

Review development plans to ensure that operable windows and building intakes are located as far away as possible from pollution sources.

Staff also recommends clarifying language about the City’s inability to regulate any potential expansion of an existing school or location of a new public school within the Air Quality Health Risk Overlay district.

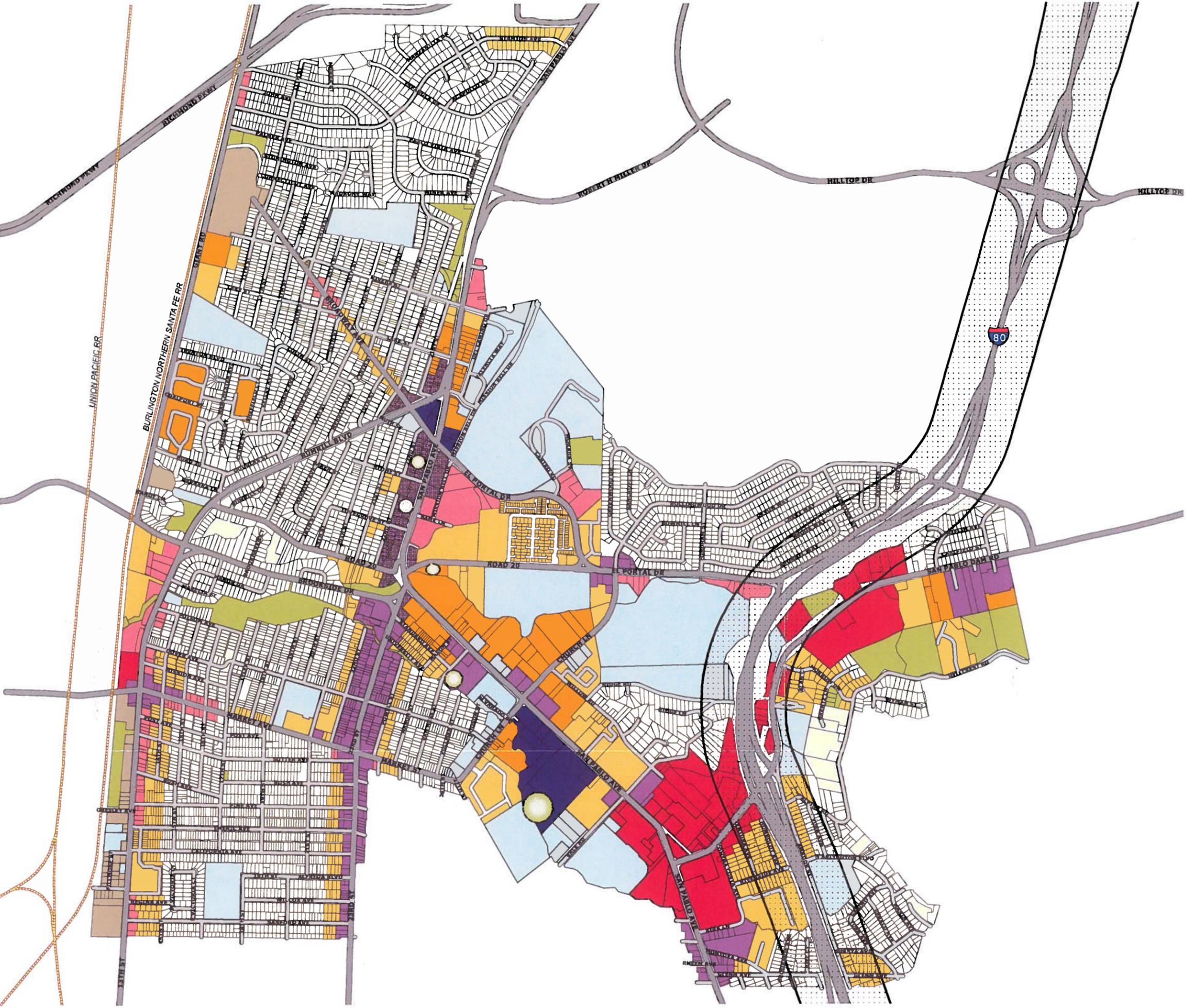
CONCLUSION

The purpose of the workshop is to provide an opportunity for the Planning Commission and public to review the proposed ordinance and make comments as necessary. No action or decision is requested at this time. A public hearing will be set later in 2018 or early 2019 for all of revisions to the Zoning Ordinance for consideration by the Planning Commission for a recommendation to the City Council.

ATTACHMENT

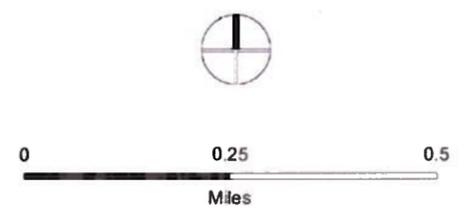
1. City of San Pablo General Plan Land Use Map

Figure 3-2
General Plan Land Use Diagram



- Mixed Use Centers*
- Residential Mixed Use
- Commercial Mixed Use
- Regional Commercial
- Neighborhood Commercial
- High Density Residential
- Medium Density Residential
- Low Density Residential
- Industrial Mixed Use
- Public/Institutional
- Parks/Recreation
- Potential Park Location
- Air Quality Health Risk Overlay Zone
- Major Roads
- Minor Roads
- Railroads

*Please see the General Plan for designation description.



SOURCE: Contra Costa County, 2010; City of San Pablo, 2010; Dyett & Bhatia, 2010.

ABOUT GENERAL PLAN AMENDMENTS

This explains 1) what a "general plan amendment" is, 2) how general plan amendments fit into our efforts to shape our surroundings, and 3) how you can participate in the decision-making process.

What is a "General Plan Amendment?"

Much as an architect draws up plans to build a house, land use planners prepare a document called a "general plan" to guide overall building activities in a community. Our community's general plan says what kinds of land uses can go where.

From time to time, someone will propose changes to our general plan. These changes are called "general plan amendments." Sometimes the proposal to change comes from someone who wants to do something different from what the general plan says is okay. Other times, amendments reflect changes in our views of what best serves our community.

About the General Plan

The general plan is a very important document. Our general plan represents our long-term vision for land uses. It guides all land use decisions in our community and includes goals, policies and maps to guide decisions. State law says every general plan must include seven parts or elements:

- Land Use
- Circulation
- Housing
- Conservation
- Open Space
- Noise
- Safety

The plan may also include other elements, depending on our community's needs and priorities.

The policies in a general plan must be consistent with one another. The general plan also guides other land use policies (for example, zoning) in our community.

Decision-Making Process

Decision-makers want to hear from those who have opinions or information about whether to approve a general plan amendment. If you want to share your thoughts, see "Preparing for Public Hearings" on the back of this sheet.

To Learn More

- *California Planning Guide: An Introduction to Planning in California* (Office of Planning and Research, December 2005), available at www.opr.ca.gov/planning/PDFs/California_Planning_Guide_2005.pdf
- *The Planning Commissioner's Handbook*, League of California Cities, 2005, Chapter 4: The Planning Framework (www.ca-ilg.org/pch4)
- Government Code Section 65350 and following (accessible from www.leginfo.ca.gov/calaw)
- Solano Press (www.solano.com) has a number of helpful planning publications available for purchase

Key Questions

- Does the proposed amendment reflect our views on which land uses should go where?
- Would a change violate other policies in the general plan?
- Is changing the rules fair? How would a change affect others who have followed the rules?
- How will the change affect public services and facilities (for example, roads, schools, sewers, water systems, and police and fire services)?
- Is the change consistent with land use planning and other laws?

PREPARING FOR PUBLIC HEARINGS

Opportunities for Input: Meetings and Letters

There are a number of ways to share your views with decision-makers. One is to participate in public hearings or other kinds of gatherings during which public input is sought. Another is to send letters and other written materials in advance of a meeting.

General Communications Tips

- Focus Your Message

You may have lots of concerns. See if they can be grouped into categories or themes. Choose two or three of your most important themes or concerns to emphasize. Otherwise, you risk overloading your listeners and possibly diminishing your effectiveness. It's not how much you say, it's how well you say it.

Start with your basic position (for example, "I support the proposed specific plan"). Then explain your connection to the issue (for example, "I live in the neighborhood covered by the plan"). Then explain the reasons for your position. It can be persuasive to think about the values underlying these reasons. ("I believe the plan fairly balances the need for affordable housing with the need for urban open space.") Tie your position to larger community interests. ("For our businesses to thrive, we need workforce housing.")

- Organize Supporting Materials

You may have written materials you want to share with decision-makers. Make sure that you have at least enough copies for each member of the decision-making body plus one for staff. If you have a lot of documentation, think about submitting it in advance. A page explaining what a larger packet contains can be helpful.

To Participate in a Meeting

- Get the Agenda and Other Information

The meeting agenda explains what issues are up for discussion and provides other useful information. Agendas usually are prepared three days (72 hours) in advance of a meeting. Many agencies post agendas on their websites. Another option is to ask that an agenda be sent to you. You can also pick up a copy. Staff reports are another helpful source of information.

A Note about Civility

Your goal is to persuade decision-makers to see the issue your way. Focus on the merits of your position. Even if you disagree about what's best for the community in this situation, it doesn't mean someone is a bad person. Questioning others' motives or intelligence, being hostile, engaging in name-calling or making threats will not reflect well on you or the position you are urging.

No matter how passionate you are about an issue, conduct yourself in a way that will add to your credibility and standing as a thoughtful member of your community.

Staff may be able to tell you at what point public input will be sought at the meeting and what you need to do to be recognized to speak. Be prepared to wait until the item you are interested in is called.

- Indicate You Want to Speak

The presiding official will generally ask for people who want to speak to come forward. Some agencies use a speakers list to help the presiding official manage the meeting better (for example, if lots of people want to speak, there may be time limits for each speaker).

- Make Smart Use of Your Time

Listen carefully to what others say. Try to find common interests and values. Try to not repeat their comments (although you may want say if you agree what someone else said). If you are part of a group, coordinate your remarks to avoid repeating each other.

- Be Prepared for Questions

Answer as best as you can. It's okay to say that you don't know or that a given question would be a good one to research.

About Public Hearings

A public hearing is a relatively formal proceeding. A typical one involves:

- A report to decision-makers, given by a staff member or consultant who has been working on the item;
- A statement by the project applicant or proponent (the person asking for the decision); and
- Statements from members of the public who may 1) support the proposed action, 2) have concerns that they would like decision-makers to address, and 3) oppose the action under any circumstances.

The decision-making body will then decide what to do by voting. If it needs more time to get more information or think about the issues raised at the hearing, the body may postpone a decision until another meeting.

ABOUT SPECIFIC PLANS

This explains 1) what a "specific plan" is, 2) how specific plans fit into our efforts to shape our surroundings, and 3) how you can participate in the decision-making process.

What is a Specific Plan?

Land use planning tools come in many forms. Specific plans set planning policies for an area in the community.

General Concepts

A document called the "general plan" establishes the overall framework for development. It provides a long-term vision for the community's growth. That vision includes goals, policies and maps to guide decision-making on zoning and specific projects. General plans cover all land in a jurisdiction.

Specific plans cover smaller areas. They say what land uses can occur in the area. They set limits on how much building can go on sites (known as the "intensity" of development) and what structures will look like. Other topics include plans for public facilities to serve the area and how those will be paid for. Specific plans guide zoning rules, subdivisions, public facilities, and future development agreements for a given area.

The Decision-Making Process

Decision-makers want to hear from those who have opinions or information about whether to approve or change specific plan. If you want to share your thoughts, see "Preparing for Public Hearings" on the back of this sheet for some tips.

To Learn More

- *The Planner's Guide to Specific Plans* (Governor's Office of Planning and Research, 2001 ed.) available at http://ceres.ca.gov/planning/specific_plans/sp_index.html
- Government Code Section 65450 and following (accessible from www.leginfo.ca.gov/calaw)
- Note too Solano Press has a number of land use related publications for sale (www.solano.com)

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ABOUT ZONE CHANGES (REZONING)

This explains 1) what a "zone change" is, 2) how zone changes fit into our efforts to shape our surroundings, and 3) how you can participate in the decision-making process.

What is a Zone Change?

Zoning divides land in a community into different areas or "zones." Zoning regulates what uses can go in what zone. For example, housing goes in areas zoned for residential uses. If someone wants to do something different, they can ask that the zoning regulations be changed. This is a *zone change or rezoning* request.

About Zoning

A goal of zoning is for neighboring land uses to be compatible with one another. Residential uses, for example, generally are not compatible with industrial uses.

Zoning rules can also set building and other standards. Examples include standards for building height, setbacks, parking areas, signage styles, and landscaping. Zoning rules may also say how much of a kind of use can occur (for example, 18 residential units per acre).

Sometimes certain kinds of uses in a zone are allowed, but only with restrictions and government review. The "conditional use permit" process is an example.

Decision-Making Process

Decision-makers want to hear from those who have opinions or information about whether to approve a proposed zone change. If you want to share your thoughts, see "Preparing for Public Hearings" on the back of this sheet for some tips.

To Learn More

- *California Planning Guide: An Introduction to Planning in California* (Office of Planning and Research, December 2005), available at www.opr.ca.gov/planning/PDFs/California_Planning_Guide_2005.pdf
- *The Planning Commissioner's Handbook*, League of California Cities, 2005, chapter 4 (www.ca-ilg.org/pch4)
- California Government Code Section 65800 and following (accessible from www.leginfo.ca.gov/calaw)
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Examples of Zone Types

- Industrial (sometimes divided into "heavy" and "light" industrial)
- Commercial
- Residential
- Open space
- Recreational
- Agricultural

Sometimes zones can have subsets. For example, in residential zones, it may be possible to locate more housing units in an "R3" (or "residential 3") zone than an "R1" (or "residential 1") zone.

PREPARING FOR PUBLIC HEARINGS

Opportunities for Input: Meetings and Letters

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- Focus Your Message

You may have lots of concerns. See if they can be grouped into categories or themes. Choose two or three of your most important themes or concerns to emphasize. Otherwise, you risk overloading your listeners and possibly diminishing your effectiveness. It's not how much you say, it's how well you say it.

Start with your basic position (for example, "I support the proposed specific plan"). Then explain your connection to the issue (for example, "I live in the neighborhood covered by the plan"). Then explain the reasons for your position. It can be persuasive to think about the values underlying these reasons. ("I believe the plan fairly balances the need for affordable housing with the need for urban open space.") Tie your position to larger community interests. ("For our businesses to thrive, we need workforce housing.")

- Organize Supporting Materials

You may have written materials you want to share with decision-makers. Make sure that you have at least enough copies for each member of the decision-making body plus one for staff. If you have a lot of documentation, think about submitting it in advance. A page explaining what a larger packet contains can be helpful.

To Participate in a Meeting

- Get the Agenda and Other Information

The meeting agenda explains what issues are up for discussion and provides other useful information. Agendas usually are prepared three days (72 hours) in advance of a meeting. Many agencies post agendas on their websites. Another option is to ask that an agenda be sent to you. You can also pick up a copy. Staff reports are another helpful source of information.

A Note about Civility

Your goal is to persuade decision-makers to see the issue your way. Focus on the merits of your position. Even if you disagree about what's best for the community in this situation, it doesn't mean someone is a bad person. Questioning others' motives or intelligence, being hostile, engaging in name-calling or making threats will not reflect well on you or the position you are urging.

No matter how passionate you are about an issue, conduct yourself in a way that will add to your credibility and standing as a thoughtful member of your community.

Staff may be able to tell you at what point public input will be sought at the meeting and what you need to do to be recognized to speak. Be prepared to wait until the item you are interested in is called.

- Indicate You Want to Speak

The presiding official will generally ask for people who want to speak to come forward. Some agencies use a speakers list to help the presiding official manage the meeting better (for example, if lots of people want to speak, there may be time limits for each speaker).

- Make Smart Use of Your Time

Listen carefully to what others say. Try to find common interests and values. Try to not repeat their comments (although you may want say if you agree what someone else said). If you are part of a group, coordinate your remarks to avoid repeating each other.

- Be Prepared for Questions

Answer as best as you can. It's okay to say that you don't know or that a given question would be a good one to research.

About Public Hearings

A public hearing is a relatively formal proceeding. A typical one involves:

- A report to decision-makers, given by a staff member or consultant who has been working on the item;
- A statement by the project applicant or proponent (the person asking for the decision); and
- Statements from members of the public who may 1) support the proposed action, 2) have concerns that they would like decision-makers to address, and 3) oppose the action under any circumstances.

The decision-making body will then decide what to do by voting. If it needs more time to get more information or think about the issues raised at the hearing, the body may postpone a decision until another meeting.



CITY OF SAN PABLO
City of New Directions



MEMORANDUM

TO: Planning Commission
FROM: Charles Ching *CC*
 Community & Economic Development Director
DATE: October 23, 2018
SUBJECT: 2019 Calendar of the Planning Commission Meetings

BACKGROUND

The purpose of this memo is to establish Planning Commission Meeting dates for the calendar year 2019. As published in the City of San Pablo Municipal code, Planning Commission meetings will be held on the fourth Tuesday of each month, at 6:30pm, and the meetings will be held at the City’s Council Chambers. The following table identifies the meeting dates.

MONTH	4TH TUESDAY
JANUARY	*23 rd (Wednesday)
FEBRUARY	26 th
MARCH	26 th
APRIL	23 rd
MAY	28 th
JUNE	25 th
JULY	23 rd
AUGUST	27 th
SEPTEMBER	24 th
OCTOBER	22 nd
NOVEMBER	26 th
DECEMBER	cancelled

*December 24th regular meeting will need to be cancelled due to holiday. A Special Meeting will be called if necessary.

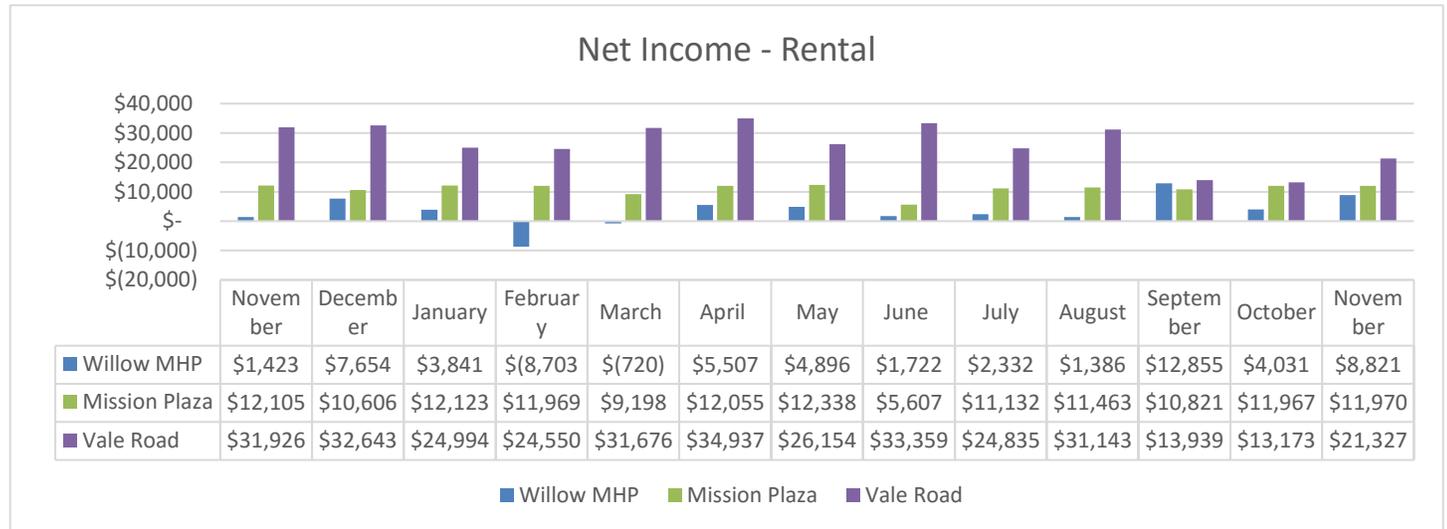
RECOMMENDATION: Approve Planning Commission Meeting dates for the calendar year 2019.

*Meeting dates changed due to holiday and City Council meetings

COMMUNITY & ECONOMIC DEVELOPMENT

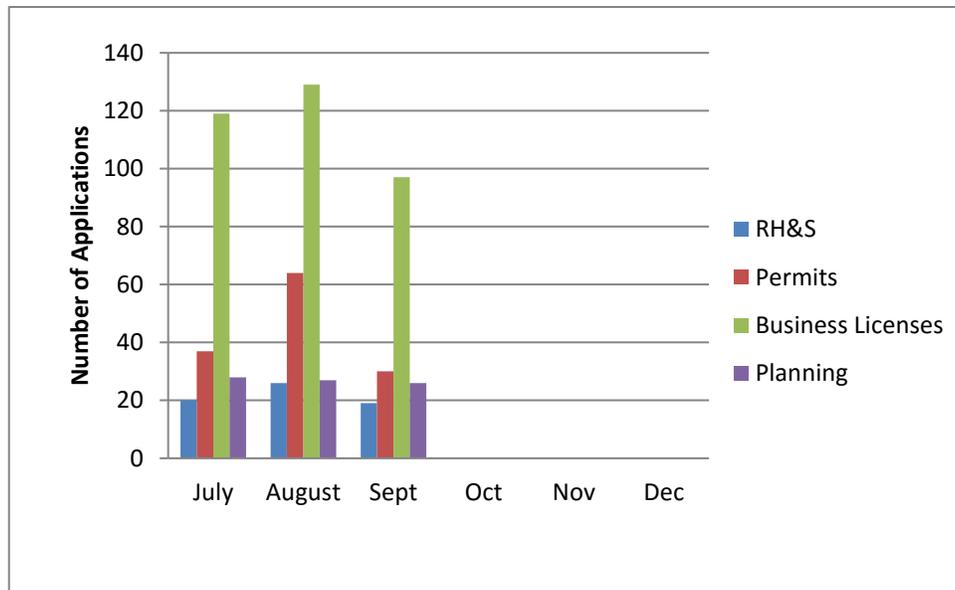
Statistical Data

ECONOMIC DEVELOPMENT STATISTICAL DATA*



*Note: Data is always several months behind

BUILDING AND PLANNING STATISTICAL DATA



Applications Received: Residential Health & Safety, Building Permits, Business Licenses & Community Planning (July 2018 – December 2018)

FYTD Total Applications Received - 603 FYTD Total Fees Collected - \$309,158.04

FYTD Total Number of Customers Assisted – 1,209

Total # of applications received in September: 172
Total # of customers assisted at counter in September: 325

Residential Health & Safety Program September summary:

Total fees collected – \$7,585.00 plus Imaging - \$272.00, Technology - \$350.00

- Single Family Resale: \$3519.00
- Single Family Rental: \$3519.00
- Multi-Family Resale/Rental: \$547.00
- Total units inspected: 30
- Total Certificates of Compliance issued: 8
- Customer Counter Assistance: 21

Building Permit September summary:

Total fees collected \$55,671.84

- Building Permits: \$41,504.09
- Electrical Permits: \$2,398.98
- Plumbing permits: \$2,236.00
- Mechanical permits: \$1,513.09
- Plancheck fees: \$3,412.04
- Imaging fees: \$2,021.42
- Technology fees: \$2,586.22
- Total Permits finalized: 30
- Fee Estimates provided: 13
- Customer Counter Assistance: 81

Business License September summary:

Total fees collected: \$27,664.99

- Business licenses issued: 97
- Customer Counter Assistance: 55

Community Planning September summary:

- Total Fees Collected: \$16,116.50 for (11) Info./Misc., (4) Land Use Review, (2) Design Review, (4) Home Occupation, (1) General Plan Amendment, (1) Use Permit/ Planning Commission, (2) Sign Review, (1) New Home.
- Customer Counter Assistance: 38

Planning Commission:

The regularly scheduled Planning Commission meeting was held on September 25, 2018.

Public Hearing

PLAN1808-0024 GENERAL PLAN CONFORMANCE FOR 2395 ROLLINGWOOD, SAN PABLO, CA
Consideration of a finding of General Plan conformance for the acquisition of a parcel by the City of San Pablo, as required under Government Code Section 65402. This is a City initiated project. The parcel is identified as 2395 Rollingwood Drive, APN 416-074-004. The proposed findings have been determined to be exempt from the provisions of the California Environmental Quality Act, in accordance with CEQA guidelines 15061 (b)(3), no potential for causing a significant effect on the environment.

Location	2395 Rollingwood Drive, San Pablo
APN	416-074-004
Zoning	R-6, Single-Family Residential (Contra Costa County Zoning Designation)
CEQA	Categorical exemption pursuant to California Environmental Quality Act §15061 (b)(3) no potential for causing a significant effect on the environment.
Owner	Contra Cost County
Applicant	City of San Pablo
Applicant's Agent	Charles Ching
Staff Contact	Elizabeth Dunn, Planning Manager
Recommendation	Conditional Approval

RESULT: Planning Commission Resolution 18-10 was passed by a vote of 3-0-2 (2 Commissioners absent), approving the acquisition of a parcel by the City of San Pablo, as required under government code 65402.

Study Session/Discussion

- A. *Zoning Ordinance Update Study Session Residential On-Site Parking Requirements* by Elizabeth Dunn, Planning Manager
- B. *Overview of CEQA (California Environmental Quality Act)* presented by Lynn Tracy Nerland, City Attorney

The next regularly scheduled Planning Commission meeting is set for October 23, 2018, at 6:30 p.m.

Customer Counter Assistance for One-Stop Shop Service:

- Dump Vouchers: 27
- Public Works: 19
- Code Enforcement: 6
- Miscellaneous: 78 (public records, questions, inspections, tenant issues, visitor, loan payment, recreation, assessor, unincorporated, file complaint, PG&E, legal aid, sewer lateral, Maple Hall rental, state contract inquiry etc.)

Significant Events / Work Plan Accomplishments

CITYWIDE

- Participated in Copier/Printer Training.
- Participated in Candidate Briefing Session September 19, 2018.

DEPARTMENTAL

- Started preparations for City Hall-O-Ween event.

PLANNING DIVISION

- A regular meeting of the Planning Commission was held on September 25, 2018.
- A study session was prepared for the Planning Commission regarding Residential On-Site Parking Requirements
- Elizabeth/Sandra attended a Preventing Workplace Harassment conference

BUILDING DIVISION

- **Meeting regarding RH&S Ordinance and Procedures**
- Collaboration with Code Enforcement staff to coordinate cases and procedures.
- Intradepartmental collaboration to finalize plan checks.
- Participated in CALBO Education Week Training in San Ramon.
- Issued tenant improvement permits for Barber College.
- Plans for the new city hall submitted for plan review.

ECONOMIC DEVELOPMENT CORPORATION

Significant Events / Work Plan Accomplishments

PR and Marketing Efforts

- Continued *Putting San Pablo to Work*-themed e-blasts and bilingual social media marketing campaigns
 - Putting San Pablo to Work (two editions: job opportunities and career training)
 - Removing Barriers (e.g., clinics, grants and employment support services)
 - Hiring & training events, including the Trades Career days, career fairs, OSRs
- Conducted regular outreach for all services, campaigns, and grants: *use web presence, eBlast, City's eNews, social media (e.g., Facebook, Twitter, Instagram), as well as print, in addition to direct 1:1 engagement*
 - Grant funding and awards to support San Pablo, West Contra Costa, and Northern Alameda Counties high-needs populations
 - Grand openings and business milestone events
 - Workforce Initiative Subsidy for Homeownership (WISH) program
 - EDC member highlights
 - National days or events (e.g., MLB Pennant) tied to local business offerings
 - Monthly business and workforce workshops, mixers, & special events
 - Shopping incentive and community engagement campaigns (e.g., ad share, Where's Pablo?)

Programs & Services Delivered, and Event Participation

- Promoted Where's Pablo and extended campaign, Fall Biz Mixer (10/18), Financing College with TCU, completed delivery of the MS Office Suite bilingual computer literacy training on 9/25 and marketed the 10/10 QuickBooks class
- Marketed Oct 1 orientation for HazWOPER40 and the Oct 22-26 cohort, plus started outreach for Nov. 2nd HazWOPER refresher; all done with Teamster's foundation and delivered at no charge to attendees
- Delivered Workforce and Business workshops, events, and training
- Met with job training partners and case managed workforce
- Piloted ad share direct mail with 14 businesses participating
- Worked with San Pablo PD and 30 local businesses to advance "Where's Pablo?" Campaign; secured locations and prizes
- Continued KP grant enrollment
- Provided one-on-one workforce support and case management
- Delivered member/sponsor benefits, constant recruitment, and managed renewals
- Provided individual technical assistance for small business owners and entrepreneurs
- Added three new members, and renewed two members and one sponsor
- Continued Local Economic Opportunity Policy collaboration with city colleagues; recruited additionally licensed/bonded/insured, reputable contractors
- Worked on September Business Watch with PD, secured logistics and initiated outreach and marketing
- Regular service delivery and events:
 - September 6: Back-to-School Night - Tabling for Where's Pablo
 - September 8: Back to School Closet

- September 10: Marketing Strategies for Success Workshop
- September 11: Town Center Business Watch meeting
- September 14: Helms Middle School Parent Coffee Club
- September 17: TCU Financial Literacy Workshop: Keys to College Financing
- September 15: Removing Barriers Clinic
 - ❖ 55 clients treated
- September 20, 21: CCWC Case Management Training – Opportunity Junction
- September 26: BurgerIM Grand Opening

Other Critical Projects

- Advanced planning with West County Partners to assume East Bay Works “One Stop” AJCC responsibilities as part of the Contra Costa Workforce Collaborative
 - Attended two-day training for CalJobs
 - Initiated WIOA pre-enrollment
- Continued management responsibilities and outreach at Mission Plaza
- Continued pursuing grants and relationships that advance the San Pablo EDC’s Strategic Fund Development Plan (Awarded second KP grant)
- Continued to improved buildout of Salesforce CRM database
- Discussed partnership opportunities and support desired in San Pablo with East Bay EDA and the East Bay Leadership Council
- Accepted panel presentation opportunity to promote San Pablo at the RWJF 2018 Culture of Health Prize event in Princeton, NJ
- Began ICCC Executive Leadership Training to undergird capital raising strategy for 2019; cohort will last one year and is at no charge to the organization
- Continued relationship building at WCCUSD and Beacon Schools Directors to broaden reach for workshops and training evenings
- Attended NMTC Exit Strategies webinar